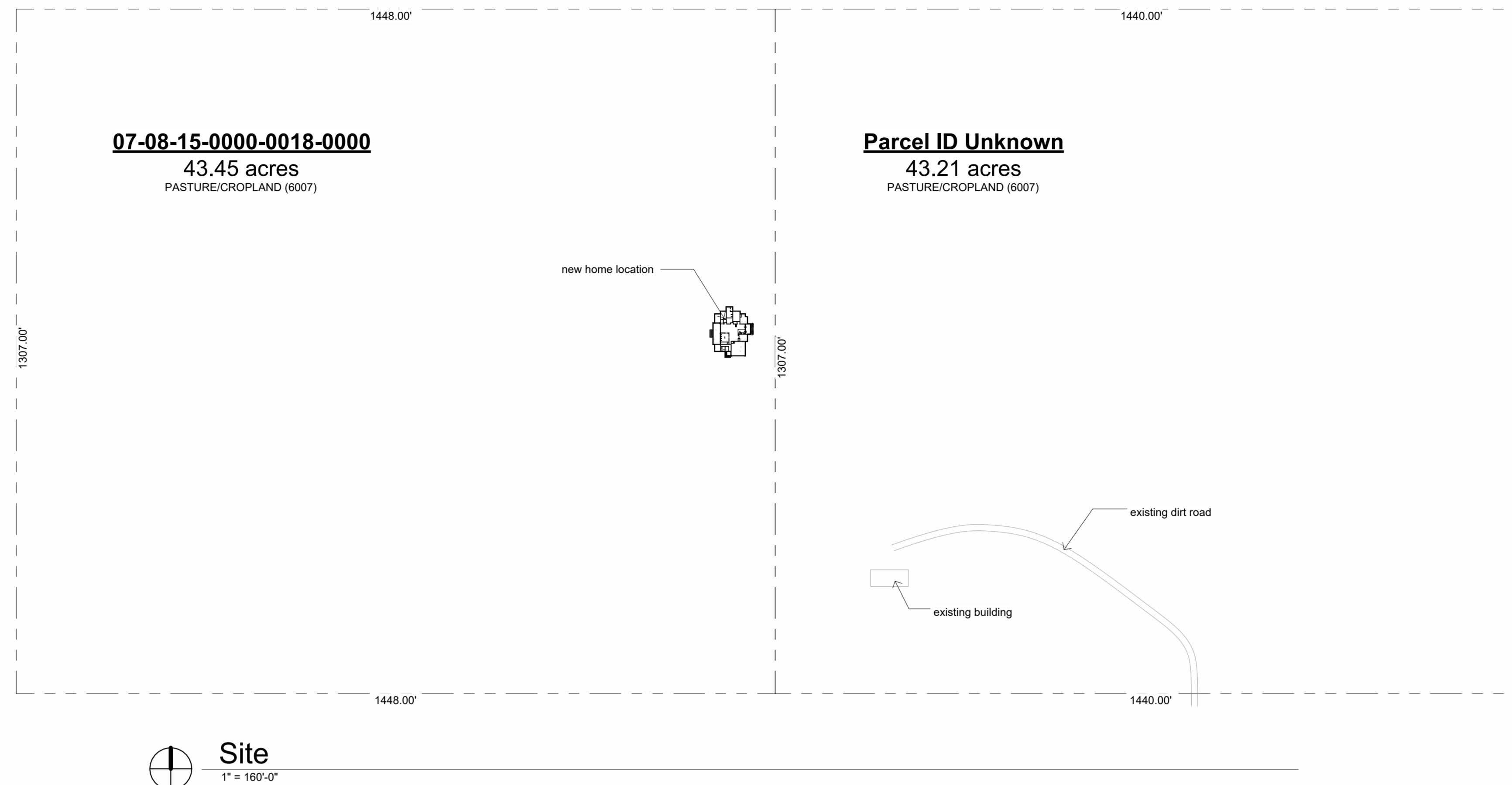


General Notes:

- ALL WORK SHALL CONFORM TO THE LATEST FLORIDA BUILDING CODE, THE NFPA LIFE SAFETY CODE, AND ALL OTHER APPLICABLE CODES AND ORDINANCES. OBTAIN ALL REQUIRED PERMITS FOR THE PROPER LEGAL EXECUTION OF THE WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS.
- PROVIDE A CONTINUOUS LOAD PATH FROM TRUSSES OR RAFTERS TO FOUNDATION FOR ALL NEW CONSTRUCTION. IF ANY DISCREPANCIES, CALL DESIGNER FOR CLARIFICATION BEFORE PROCEEDING.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING ANY WORK. HE/SHE SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL SITE CONDITIONS FOUND DURING OR PRIOR TO DEMOLITION.
- FOUNDATION DESIGN IS BASED ON 2000 PSF STABLE SOIL CONDITIONS.
- PROVIDE TESTING ON SOIL COMPACTION PRIOR TO LAYING STEEL OR POURING CONCRETE. COMPACTION SHOULD ACHIEVE 95% MODIFIED PROCTOR DENSITY.
- PROVIDE ADEQUATE BLOCKING BEHIND ALL WALL MOUNTED FIXTURES
- PROVIDE ALL ACCESSORIES, HARDWARE AND MISC. ITEMS AS PER DRAWINGS AND SPECIFICATIONS. ALL ITEMS SHALL BE INSTALLED AS PER MANUFACTURERS WRITTEN INSTRUCTIONS AND CUT SHEETS.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
- ALL CONCRETE SHALL BE 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
- INSTALL DOORS AND WINDOWS PER MANF. DATA PROVIDED W/ PRODUCT. CENTER UNLESS NOTED
- REFER TO WIND LOAD ANALYSIS FOR NAIL PATTERN AND SCHEDULE AND HOLD DOWN TABLES
- ATTIC OVER CONDITIONED SPACE IS UNVENTED. ATTIC INSULATION FOAM-IN-PLACE SPRAY FOAM INSULATION.
- ATTIC OVER PORCHES IS VENTED. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4 INCH (6.4 MM) SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM.
- ALL FLASHING TO MEET CODES. FOLLOW MANUFACTURER'S DATA SHEET AND SMACNA STANDARDS.
- STRUCTURAL CONNECTORS LISTED ARE FOR EXAMPLE. OTHER PRODUCTS MAY BE SUBSTITUTED FOR ANY CONNECTORS LISTED PROVIDED THEY MEET THE REQUIRED LOAD CAPACITIES. FOLLOW MANUFACTURER'S INSTALLATION DATA. ANY CONNECTORS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED.
- ANCHOR BOLT MINIMUM EMBEDMENT IS 7" UNLESS OTHERWISE NOTED.
- ELECTRICAL INFORMATION IS DIAGRAMMATIC ONLY.
- ALL FIXTURES AND EQUIPMENT MUST MEET THE OWNER'S APPROVAL PRIOR TO PURCHASE AND INSTALLATION
- ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. ALL STRUCTURAL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
- ALL WOOD AND WOOD CONSTRUCTION SHALL COMPLY WITH THE RELEVANT CODES AND SPECIFICATIONS AND THE 'AMERICAN INSTITUTE OF TIMBER CONSTRUCTION' (STANDARD MANUAL)
- APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.
- ALL SURFACES TO BE FINISHED SHALL BE CLEAN AND FREE OF FOREIGN MATERIALS. (DIRT, GREASE, ASPHALT, RUST, ETC.)
- APPLICATION SHALL BE IN A WORKMANLIKE MANNER PROVIDING A SMOOTH SURFACE. APPLICATION RATE SHALL BE THAT RECOMMENDED BY THE MANUFACTURER. APPLICATION MAY BE BY BRUSH OR ROLLER, OR MAY BE BY SPRAY IF PAINT IS FORMULATED FOR SAME.
- PROVIDE EXTERIOR AND INTERIOR SURFACE FINISHES AS SCHEDULED, AS APPROPRIATE FOR THEIR LOCATION OR EXPOSURE TO WEATHER, AND AS RECOMMENDED BY THE MANUFACTURER.
- OTHER FINISHES AS PER CONSTRUCTION DOCUMENTS, FINISH SCHEDULE OR OWNER'S SPECIFICATIONS.
- THE DESIGNER SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. NOR WILL HE/SHE BE RESPONSIBLE FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. OR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.



Project Identification
Rebmann Residence

Project Location
4327 NW 26th Avenue
Bell, Florida 32619

Owner
Client Name

Designer
Bob Harris - dba Bob Harris Design
2351 SW 56th Avenue
Gainesville, Florida 32608

Building Code
All areas of construction shall comply with Florida Building Code 7th Addition 2020

Project Scope
• New Home

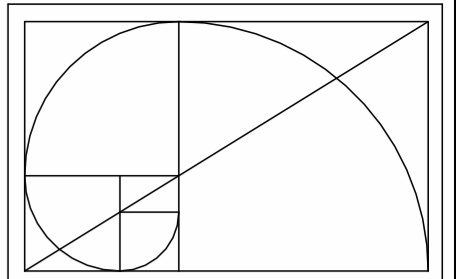
Sheet List	
Sheet Number	Sheet Name
A0	Cover, Location, Notes
A1	Floor Plan
A2	Elevations
A3	Elevations
A4	Building Sections
A5	Electrical Plan

Area Schedule (Gross Building)	
Area	Name

Conditioned	
3710 SF	Conditioned
3710 SF	

Porch	
199 SF	Front Porch
599 SF	Screened Patio
75 SF	Side Entry
873 SF	

Un-Conditioned	
770 SF	Garage
770 SF	
5353 SF	



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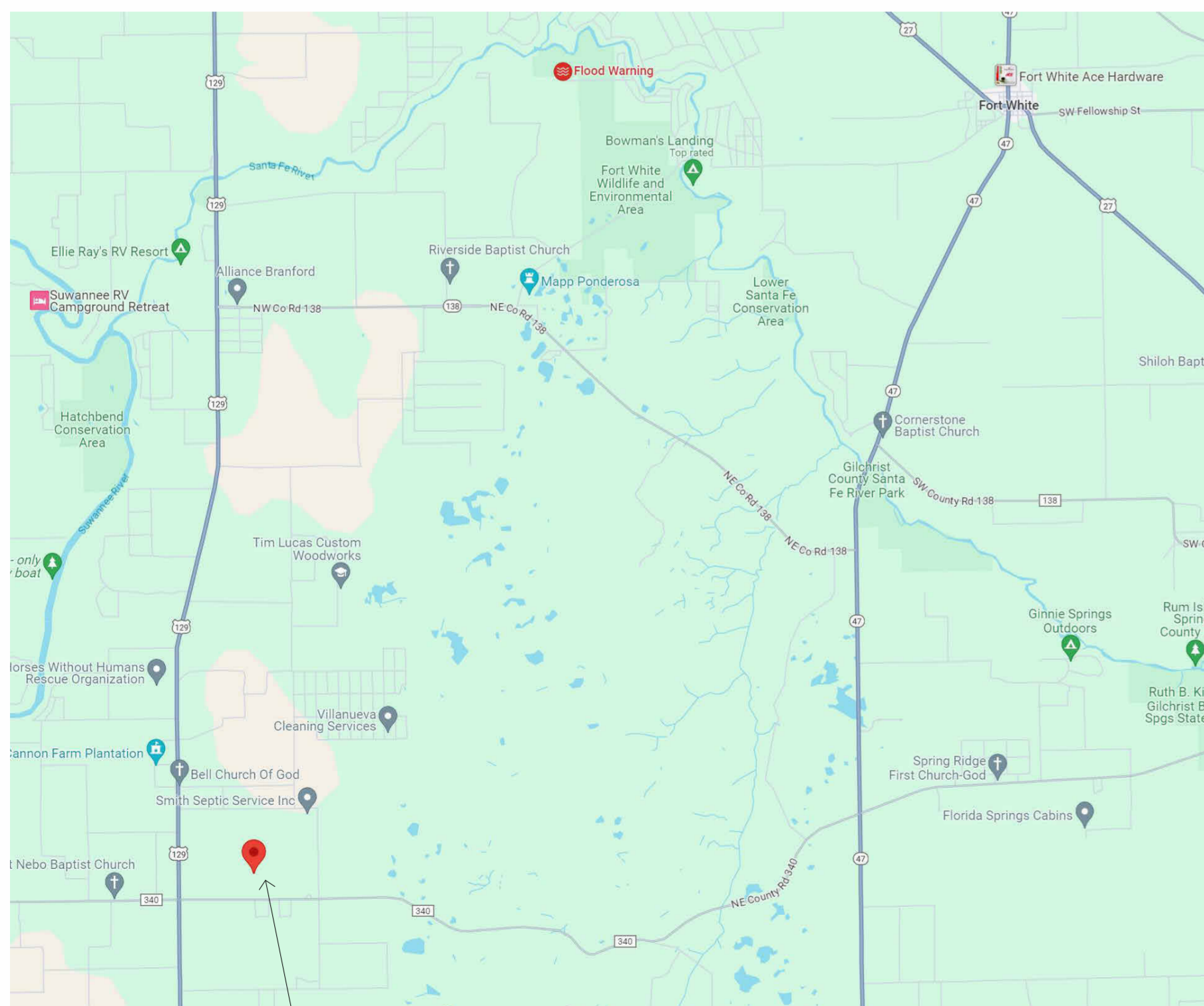
CLIENT
Client Name

Rebmann Residence
New Home
 4327 NW 26th Avenue
 Bell, Florida 32619

Revision Date	
Number	Date

Date: 01/19/2023
 Drawn: Bob Harris
 Description: Cover, Location, Notes

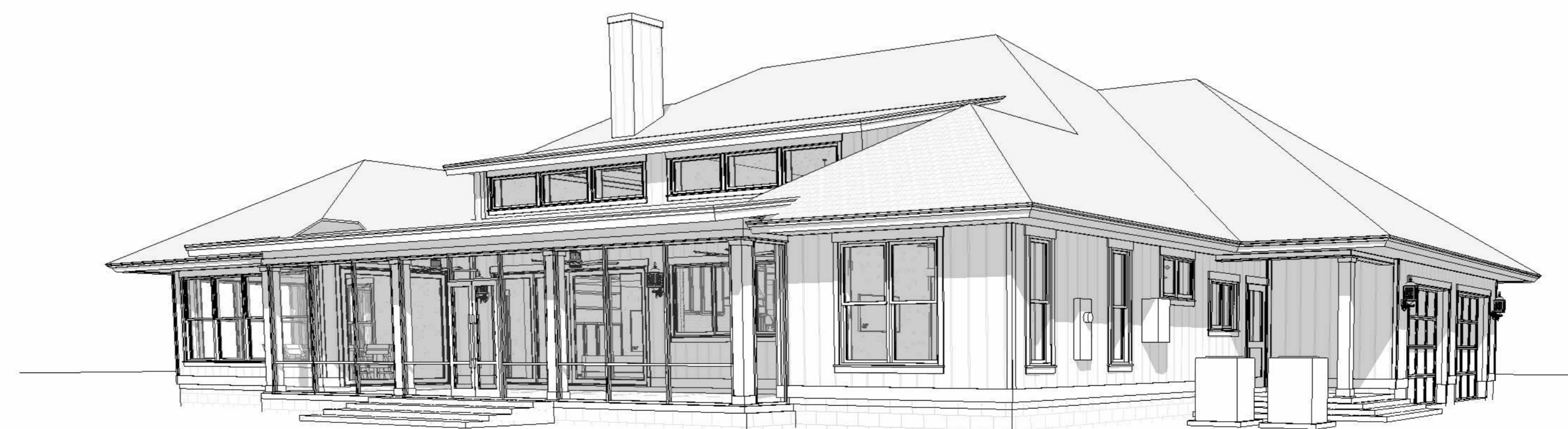
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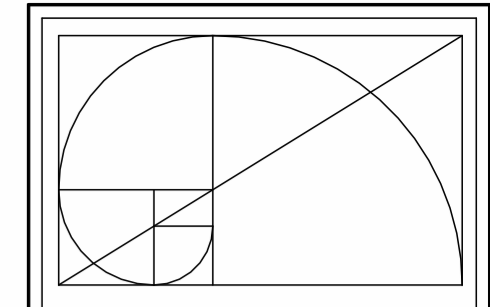
Location Map
N.T.S.



Sketch 1



Sketch 2



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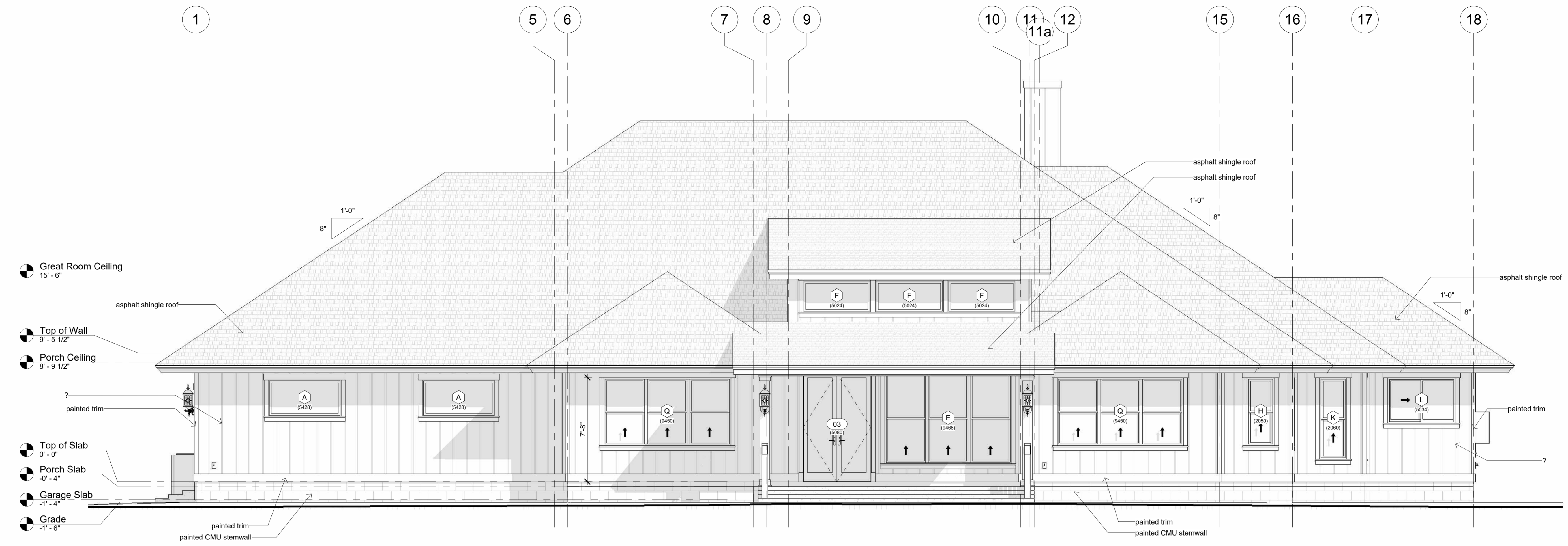
Revision Date
 Number Date

Date: 01/19/2023
 Drawn: Bob Harris
 Description: Elevations

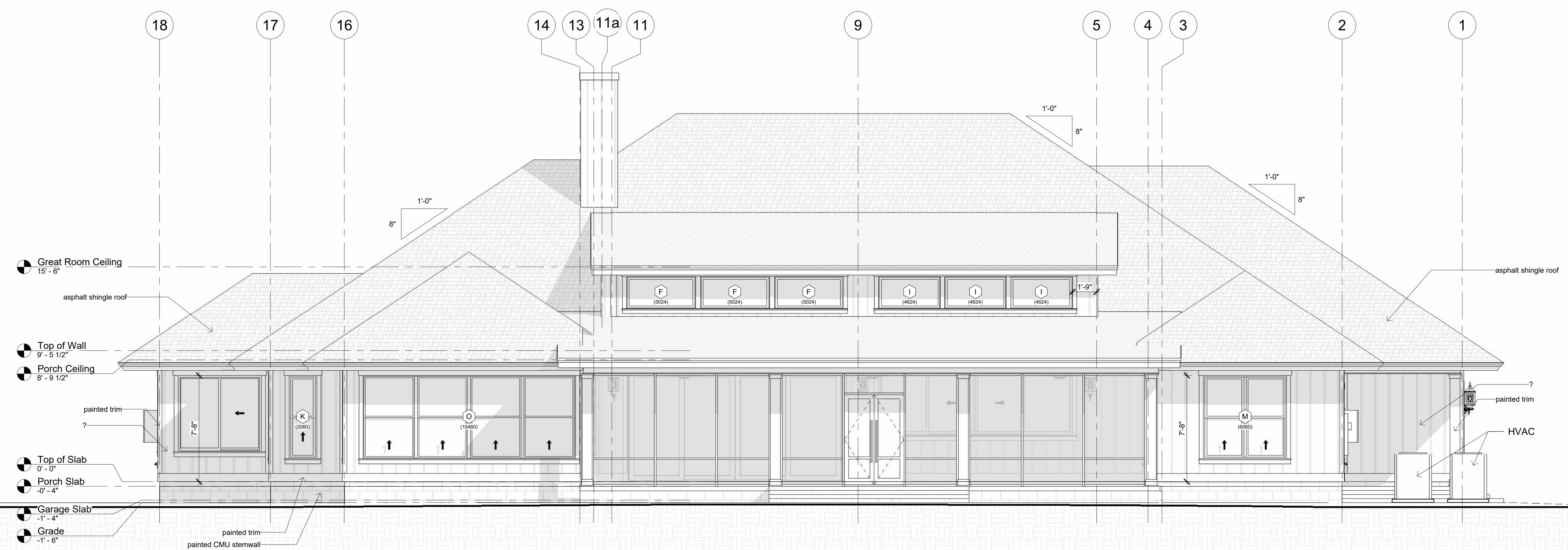
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50% Plans

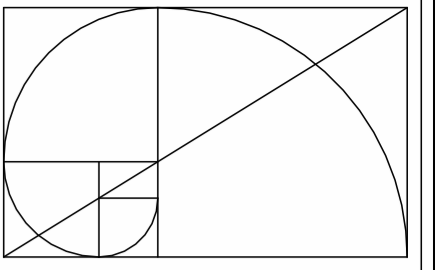
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East Elevation
 1/4" = 1'-0"



West Elevation
 1/4" = 1'-0"



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4327 NW 26th Avenue
Bell, Florida 32619

Revision Date
Number Date

Date:
01/19/2023

Drawn:
Bob Harris

Description:
Elevations

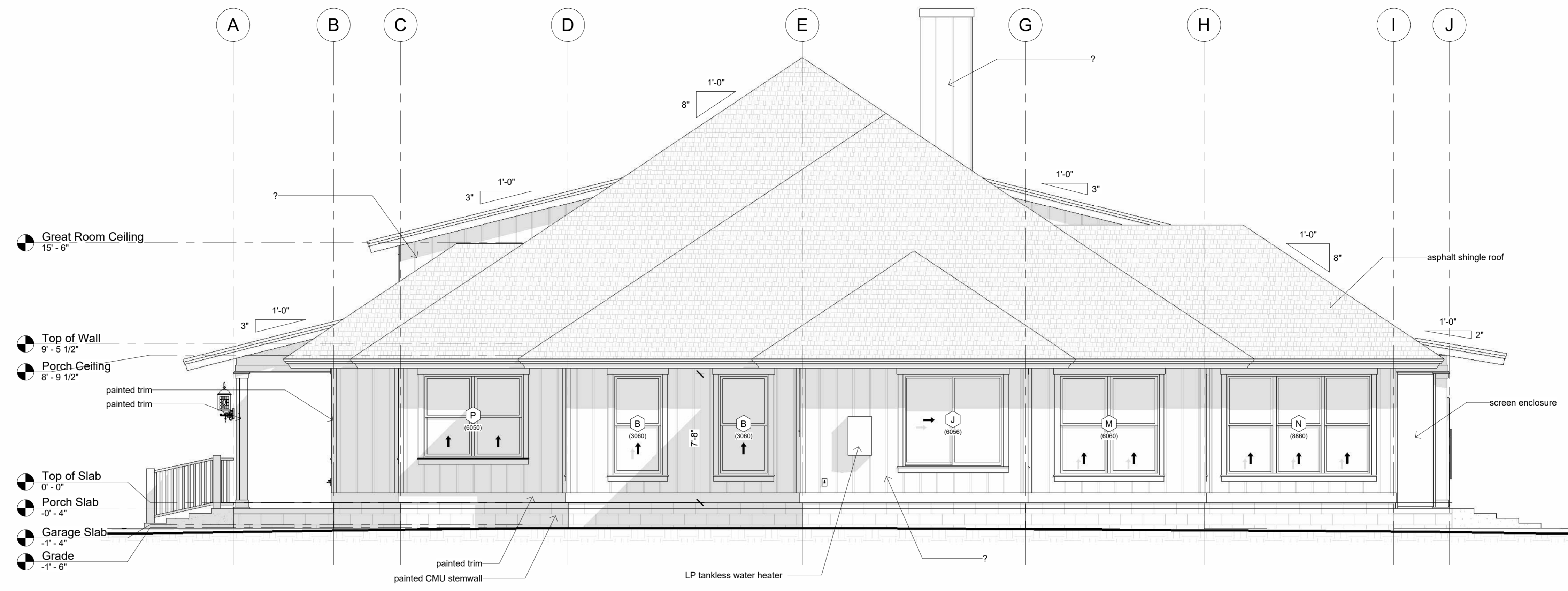
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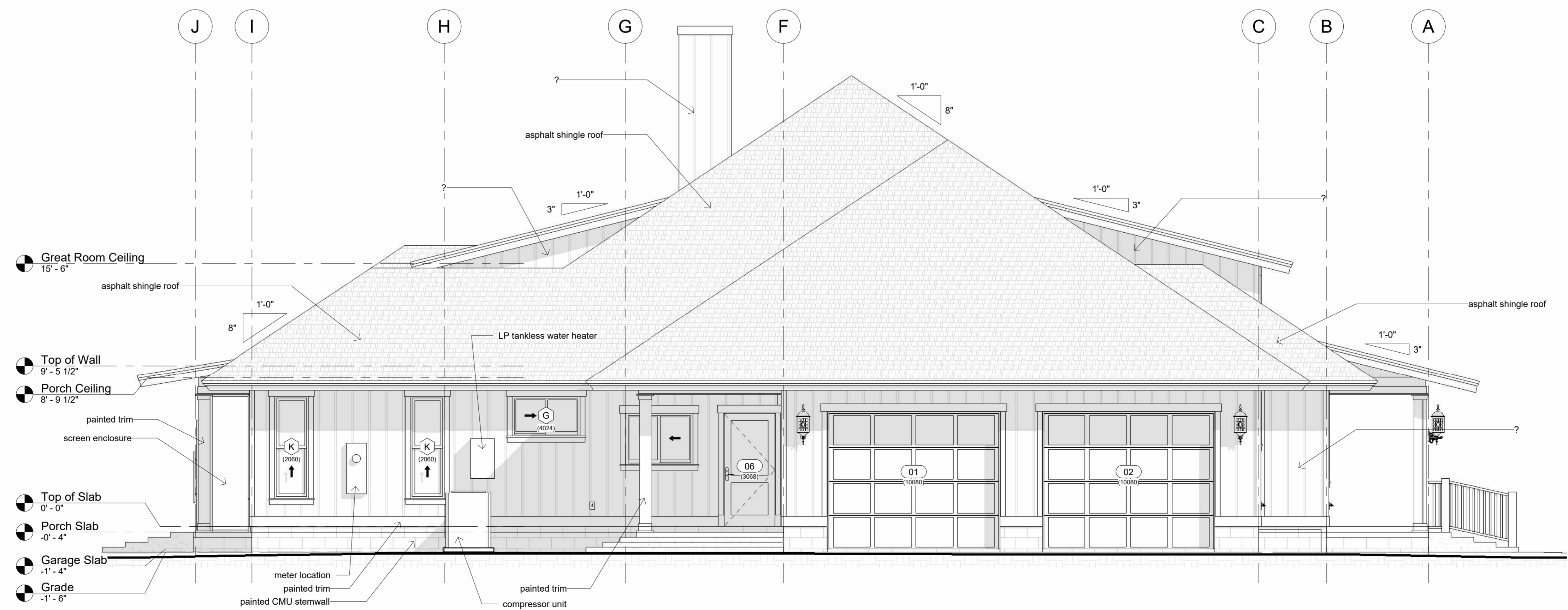
50% Plans

50% Plans



North Elevation

1/4" = 1'-0"

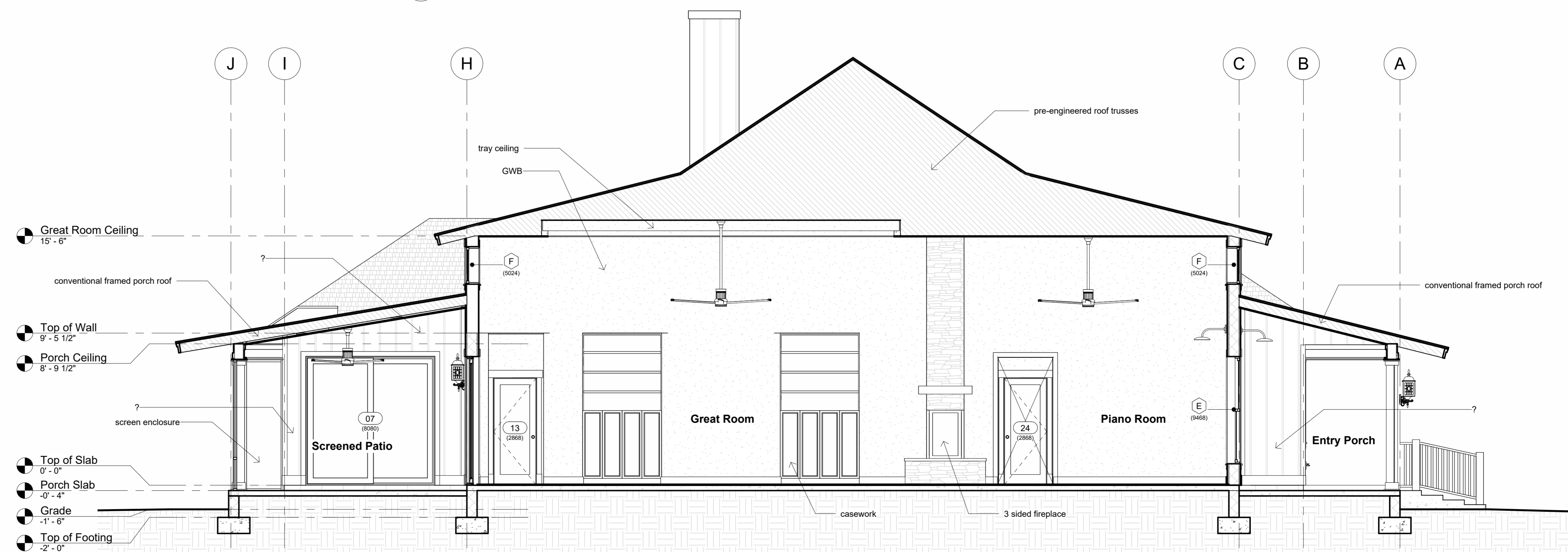
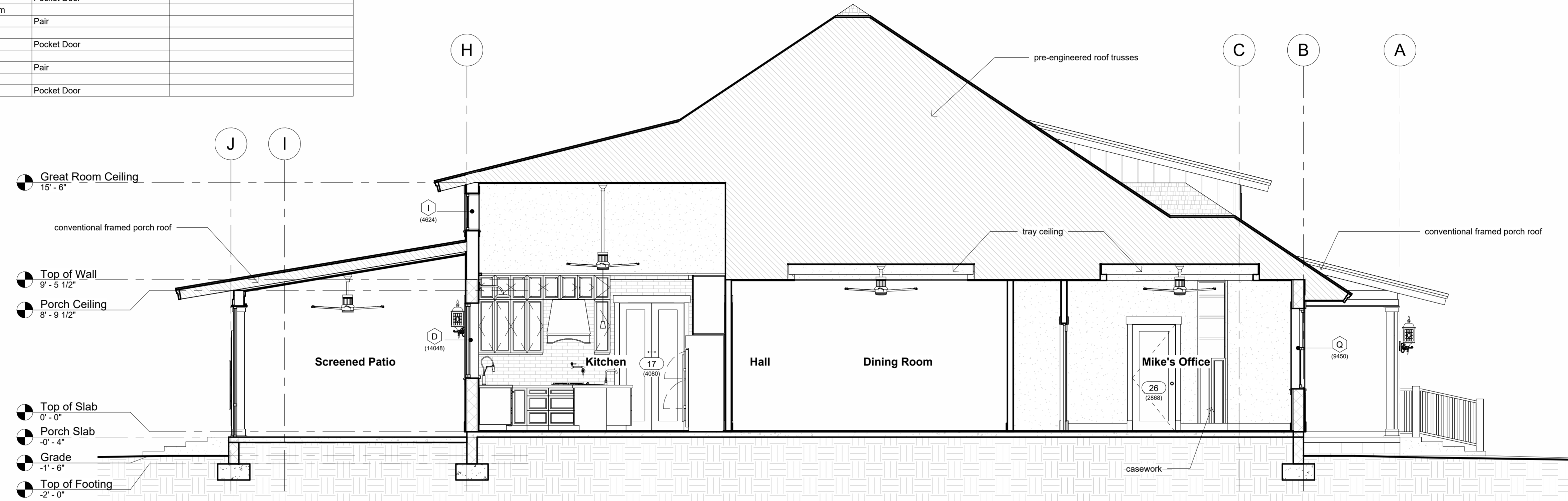
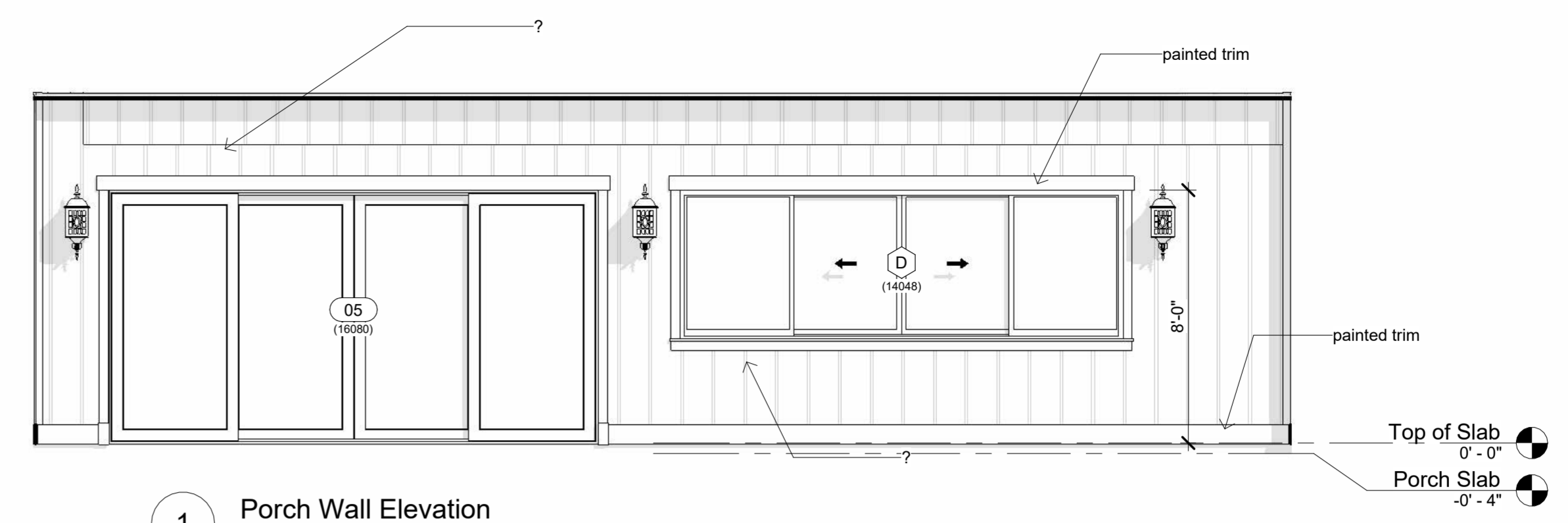


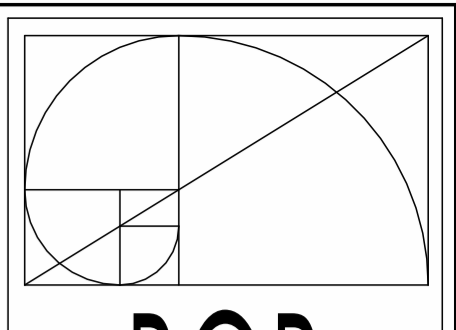
South Elevation

1/4" = 1'-0"

Door Schedule					
Mark	Width	Height	Location	Description	Comments
Exterior					
01	10'-0"	8'-0"	2 Car Garage	Overhead Garage Door	
02	10'-0"	8'-0"	2 Car Garage	Overhead Garage Door	
03	5'-0"	8'-0"	Foyer	Pair, Full Lite, Fixed	
04	3'-0"	6'-8"	Guest Bedroom	Full Lite	
05	15'-6"	8'-0"	Screened Patio	(2) Panel (2) Track Opposing	
06	3'-0"	6'-8"	Side Entry	Half Lite	
07	8'-0"	8'-0"	Sunroom	Sliding Glass Door	
Interior					
08	3'-0"	6'-8"	2 Car Garage		
09	3'-0"	6'-8"	Coat	Pair	
10	2'-8"	6'-8"	G. Bath		
11	2'-8"	6'-8"	Guest Bedroom		
12	4'-0"	6'-8"	Guest Closet	Sliding Doors	
13	2'-8"	6'-8"	Gym		
14	3'-0"	6'-8"	Gym Closet	Pair	
15	3'-0"	6'-8"	Hall		
16	3'-0"	6'-8"	Hall Closet	Pocket Door	
17	4'-0"	8'-0"	Kitchen	Full Lite, Opposing Pocket Door	
18	4'-0"	8'-0"	Kitchen	Full Lite, Opposing Pocket Door	
19	3'-0"	6'-8"	Kristine Closet	Pair	
20	2'-8"	6'-8"	Kristine's Office		
21	3'-0"	6'-8"	Laundry	Pocket Door	
22	2'-0"	6'-8"	Linen		
23	3'-0"	6'-8"	Master Bath	Pocket Door	
24	2'-8"	6'-8"	Master Bedroom		
25	3'-0"	6'-8"	Mike Closet	Pair	
26	2'-8"	6'-8"	Mike's Office		
27	3'-0"	6'-8"	Pantry	Pocket Door	
28	2'-8"	6'-8"	Pdr.		
29	2'-8"	6'-8"	Piano Closet	Pair	
30	2'-8"	6'-8"	Sunroom		
31	3'-0"	6'-8"	W.I.C.	Pocket Door	

Window Schedule					
Type	Width	Height	Description	Comments	Count
A	5'-4"	2'-8"	Fixed Glass		2
B	3'-0"	6'-0"	Single Hung		2
C	4'-0"	3'-0"	Horizontal Sliding		1
D	14'-0"	4'-8"	XXXX Horizontal Slider		1
E	9'-4"	6'-8"	(3) Single Hung, Factory Mull		1
F	5'-0"	2'-4"	Fixed Glass		6
G	4'-0"	2'-4"	Horizontal Sliding		1
H	2'-0"	5'-0"	Single Hung		1
I	4'-6"	2'-4"	Fixed Glass		3
J	6'-0"	5'-6"	Horizontal Sliding		2
K	2'-0"	6'-0"	Single Hung		4
L	5'-0"	3'-4"	Horizontal Sliding		1
M	6'-0"	6'-0"	(2) Single Hung, Factory Mull		2
N	8'-8"	6'-0"	(3) Single Hung, Factory Mull		1
O	15'-4"	6'-0"	(4) Single Hung, Factory Mull		1
P	6'-0"	5'-0"	(2) Single Hung, Factory Mull		1
Q	9'-4"	5'-0"	(3) Single Hung, Factory Mull		2
R	3'-8"	6'-0"	Single Hung Borrowed Lite	Interior Window Single or Double Hung	1





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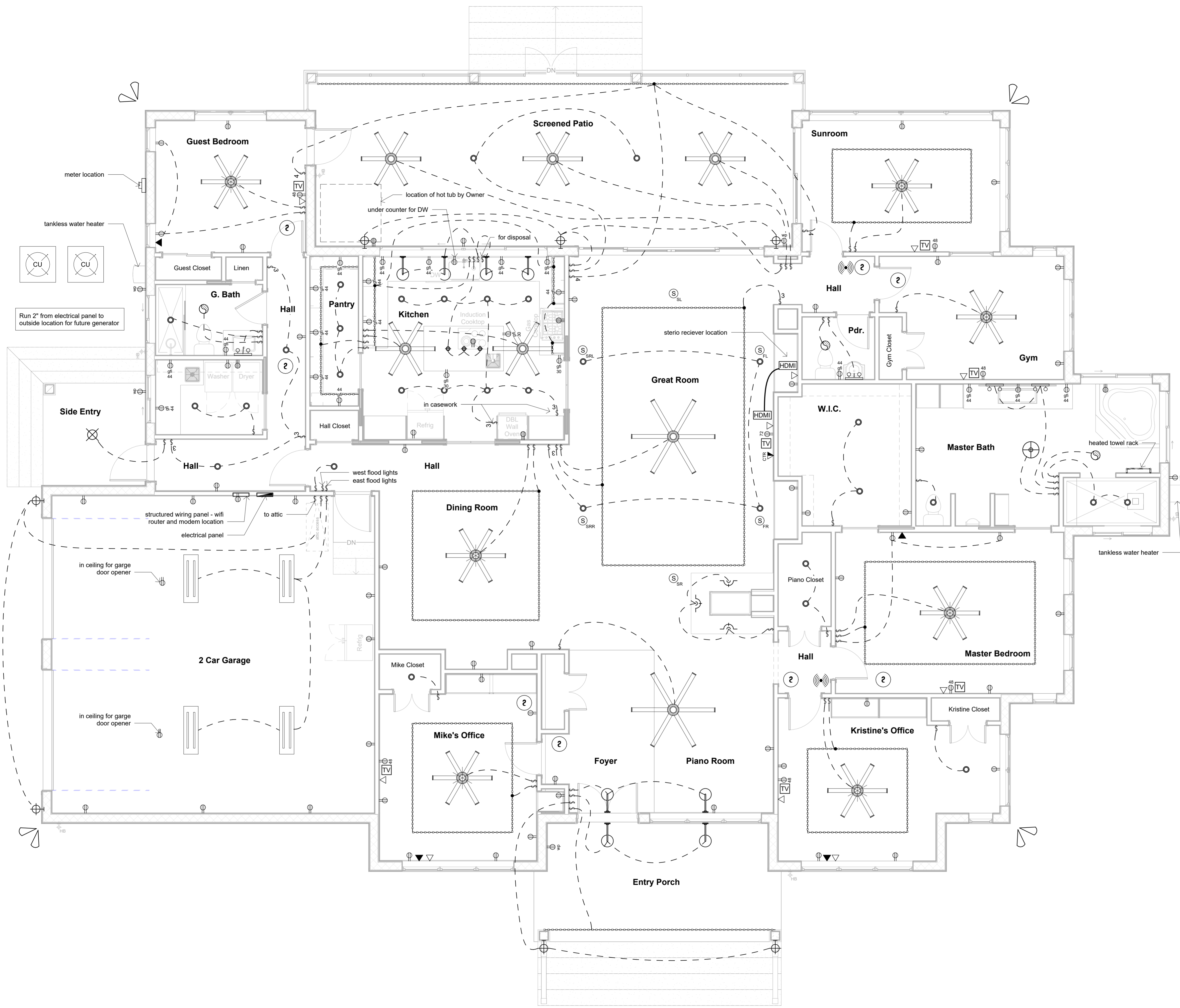
Rebmann Residence
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Bell, Florida 32619

Revision Number	Date

Date: 01/19/2023
Drawn: Bob Harris
Description: Building Sections

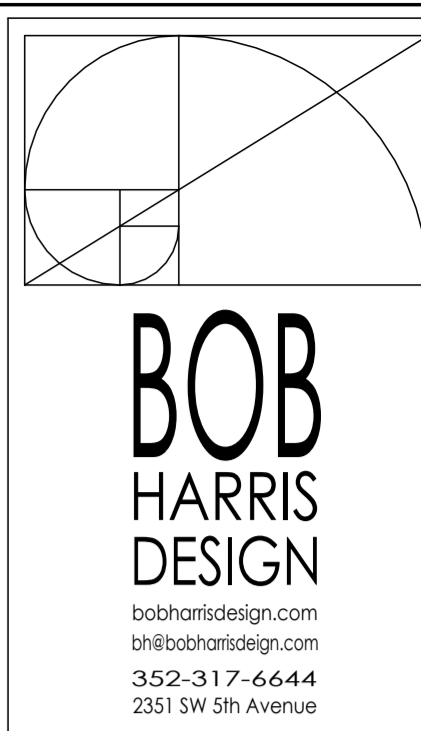
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50% Plans



	Ceiling Fan
	Ceiling Fan w/ Light Kit
	Recessed Can Light
	Large Pendant Light
	Small Pendant Light
	Wall Mounted Light
	Ceiling Mounted Light
	Bathroom Vanity Light
	Flood Lights
	LED Strip Light - Provide all LED with Dimmable Drivers
	Barn Style Light
	Ceiling Mounted Wall Wash Light
	Light Switch
	3 Way Light Switch
	Ceiling Mounted WIFI Access Point
	120V Duplex - Number indicates height above floor
	120V Duplex - Ground Fault Interrupted
	120V Duplex - Ground Fault Interrupted In Water Resistant Enclosure
	240V Outlet
	CAT6 Data Connection
	Telephone Connection
	RJ6 Television Connection
	HDMI Wall Plug
	Exhaust Fan
	Smoke Detector CO2 Combo Units
	Speaker Wall Jack
	Ceiling Speaker - Subscript Indicates Speaker Position

- Electrical General Notes:**
- All receptacle outlets not indicated as gfi (ground fault interrupted) shall be afci (arc fault circuit interrupted)
 - All receptacle outlets indicated as WP are Ground Fault Interrupted
 - Provide dimmers for all LED strip lighting.
 - Verify w/ Owner light all other fixtures to receive dimmers
- Low Voltage Notes:**
- Home run all CAT6, TV and phone to Structured Media Enclosure (SME).
 - Structured Media Enclosure (SME) shall be specified for WIFI transmissions.
 - Provide data connection to outside for Cable, Satellite and DSL Internet. Terminate in SME.
 - Terminate all CAT6 in patch panel in SME.
 - Provide sound distribution wall plate for 7.1 surround at stereo receiver location.
 - All exterior low voltage LED strip lighting shall be approved by Mfg. for wet locations.



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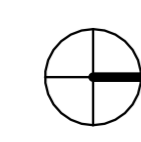
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Bell, Florida 32619

Revision Date
Number Date

Date: 01/19/2023
Drawn: Bob Harris
Description: Electrical Plan

SHEET
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6

 **Electrical Plan**
1/4" = 1'-0"

50% Plans