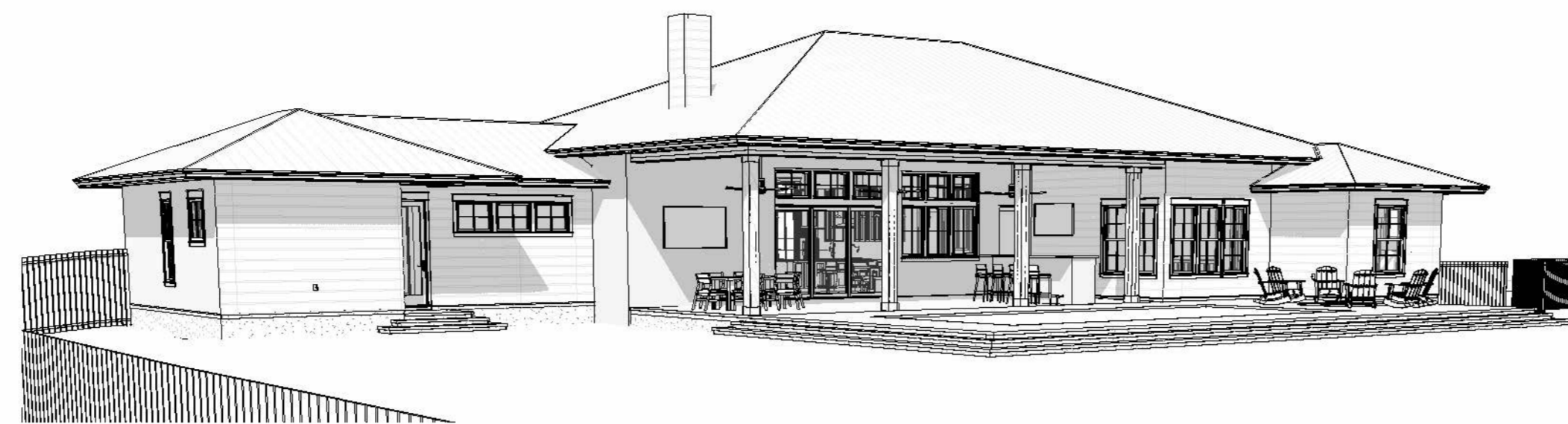


General Notes:

- ALL WORK SHALL CONFORM TO THE LATEST FLORIDA BUILDING CODE, THE NFPA LIFE SAFETY CODE, AND ALL OTHER APPLICABLE CODES AND ORDINANCES. OBTAIN ALL REQUIRED PERMITS FOR THE PROPER LEGAL EXECUTION OF THE WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS.
- PROVIDE A CONTINUOUS LOAD PATH FROM TRUSSES OR RAFTERS TO FOUNDATION FOR ALL NEW CONSTRUCTION. IF ANY DISCREPANCIES, CALL DESIGNER FOR CLARIFICATION BEFORE PROCEEDING.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING ANY WORK. HE/SHE SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL SITE CONDITIONS FOUND DURING OR PRIOR TO DEMOLITION.
- FOUNDATION DESIGN IS BASED ON 2000 PSF STABLE SOIL CONDITIONS.
- PROVIDE TESTING ON SOIL COMPACTION PRIOR TO LAYING STEEL OR POURING CONCRETE. COMPACTION SHOULD ACHIEVE 95% MODIFIED PROCTOR DENSITY.
- PROVIDE ADEQUATE BLOCKING BEHIND ALL WALL MOUNTED FIXTURES
- PROVIDE ALL ACCESSORIES, HARDWARE AND MISC. ITEMS AS PER DRAWINGS AND SPECIFICATIONS. ALL ITEMS SHALL BE INSTALLED AS PER MANUFACTURERS WRITTEN INSTRUCTIONS AND CUT SHEETS.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
- ALL CONCRETE SHALL BE 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
- INSTALL DOORS AND WINDOWS PER MANF. DATA PROVIDED W/ PRODUCT. CENTER UNLESS NOTED
- REFER TO WIND LOAD ANALYSIS FOR NAIL PATTERN AND SCHEDULE AND HOLD DOWN TABLES
- ATTIC OVER CONDITIONED SPACE IS UNVENTED. ATTIC INSULATION FOAM-IN-PLACE SPRAY FOAM INSULATION.
- ATTIC OVER PORCHES IS VENTED. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4 INCH (6.4 MM) SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM.
- ALL FLASHING TO MEET CODES. FOLLOW MANUFACTURER'S DATA SHEET AND SMACNA STANDARDS.
- STRUCTURAL CONNECTORS LISTED ARE FOR EXAMPLE. OTHER PRODUCTS MAY BE SUBSTITUTED FOR ANY CONNECTORS LISTED PROVIDED THEY MEET THE REQUIRED LOAD CAPACITIES. FOLLOW MANUFACTURER'S INSTALLATION DATA. ANY CONNECTORS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED.
- ANCHOR BOLT MINIMUM EMBEDMENT IS 7" UNLESS OTHERWISE NOTED.
- ELECTRICAL INFORMATION IS DIAGRAMMATIC ONLY.
- ALL FIXTURES AND EQUIPMENT MUST MEET THE OWNER'S APPROVAL PRIOR TO PURCHASE AND INSTALLATION
- ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. ALL STRUCTURAL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
- ALL WOOD AND WOOD CONSTRUCTION SHALL COMPLY WITH THE RELEVANT CODES AND SPECIFICATIONS AND THE 'AMERICAN INSTITUTE OF TIMBER CONSTRUCTION' (STANDARD MANUAL)
- APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.
- ALL SURFACES TO BE FINISHED SHALL BE CLEAN AND FREE OF FOREIGN MATERIALS, (DIRT, GREASE, ASPHALT, RUST, ETC.)
- APPLICATION SHALL BE IN A WORKMANLIKE MANNER PROVIDING A SMOOTH SURFACE. APPLICATION RATE SHALL BE THAT RECOMMENDED BY THE MANUFACTURER. APPLICATION MAY BE BY BRUSH OR ROLLER, OR MAY BE BY SPRAY IF PAINT IS FORMULATED FOR SAME.
- PROVIDE EXTERIOR AND INTERIOR SURFACE FINISHES AS SCHEDULED, AS APPROPRIATE FOR THEIR LOCATION OR EXPOSURE TO WEATHER, AND AS RECOMMENDED BY THE MANUFACTURER.
- OTHER FINISHES AS PER CONSTRUCTION DOCUMENTS, FINISH SCHEDULE OR OWNER'S SPECIFICATIONS.
- THE DESIGNER SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. NOR WILL HE/SHE BE RESPONSIBLE FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, OR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

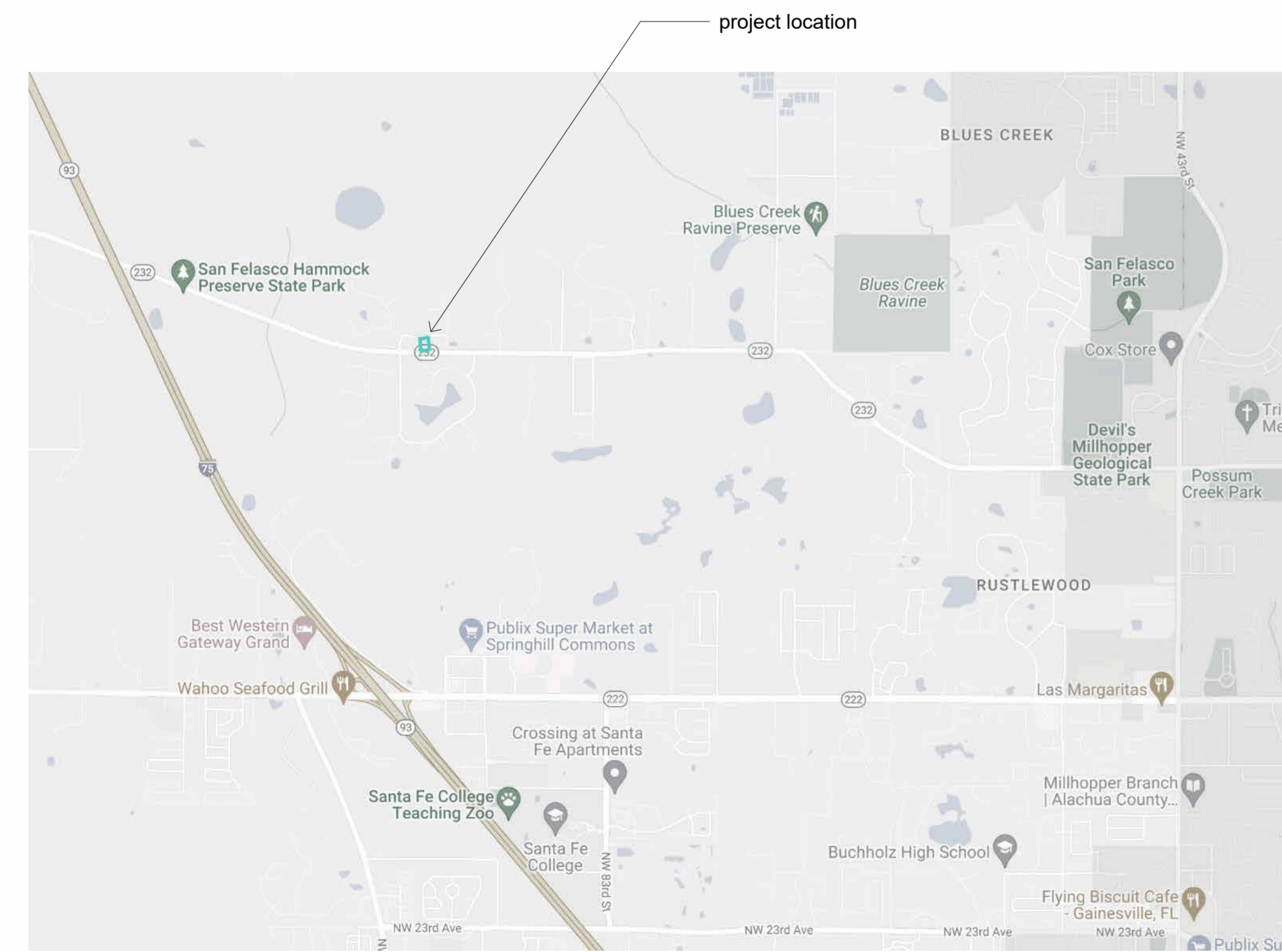


Sketch 1



Sketch 2

Area Schedule (Gross Building)	
Area	Name
Conditioned	
2973 SF	Conditioned
2973 SF	
Open Deck	
1532 SF	Pool Deck
1532 SF	
Unconditioned	
647 SF	Garage
743 SF	Rear Rorch
157 SF	Front Porch
1547 SF	
6051 SF	



Location Map
N.T.S.

Project Identification

McFall Residence

Project Location

9515 NW 62nd Lane
Gainesville, Florida
32653

Owner

Jason & Ashley McFall

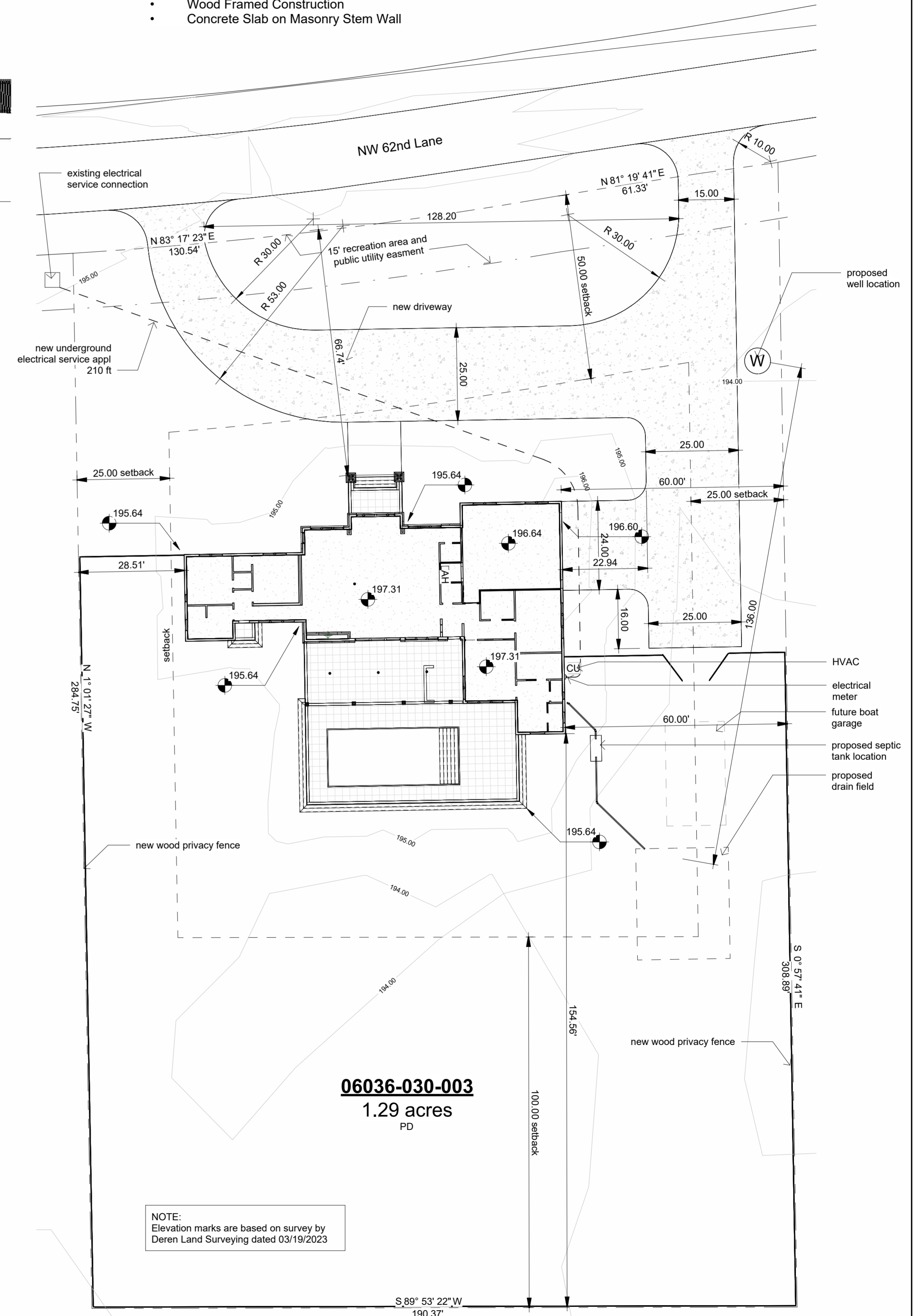
Designer

Bob Harris - dba Bob Harris Design
2351 SW 56th Avenue
Gainesville, Florida 32608

Project Scope

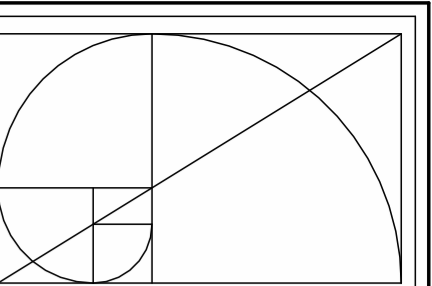
- New Home
- 2 Story
- Wood Framed Construction
- Concrete Slab on Masonry Stem Wall

Sheet List	
Sheet Number	Sheet Name
A0	Cover
A1	Floor Plan - House
A2	Floor Plan - Pool Deck
A3	Elevations
A4	Elevations
A5	Slab Plan
A6	Roof Plan
A7	Details
A8	Details
A9	Electrical Plan



NOTE:
Elevation marks are based on survey by
Deren Land Surveying dated 03/19/2023

Site
1" = 20'-0"



**BOB
HARRIS
DESIGN**

bobharrisdesign.com
bh@bobharrisdesign.com
352-317-6644
2351 SW 56th Avenue

CLIENT

Jason & Ashley McFall

McFall Residence
New Home
9515 NW 62nd Lane
Gainesville, Florida 32653

Revision Date
Number Date

Date:
03-30-2023

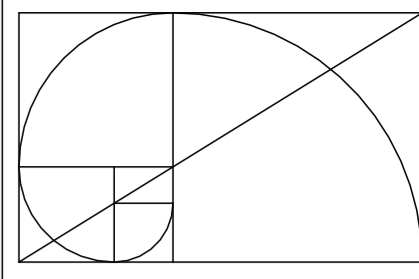
Drawn:
Bob Harris

Description:

Cover

SHEET
A0

OF
10



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 bobharrisdesign.com
 bh@bobharrisdesign.com
 352-317-6644
 2351 SW 5th Avenue

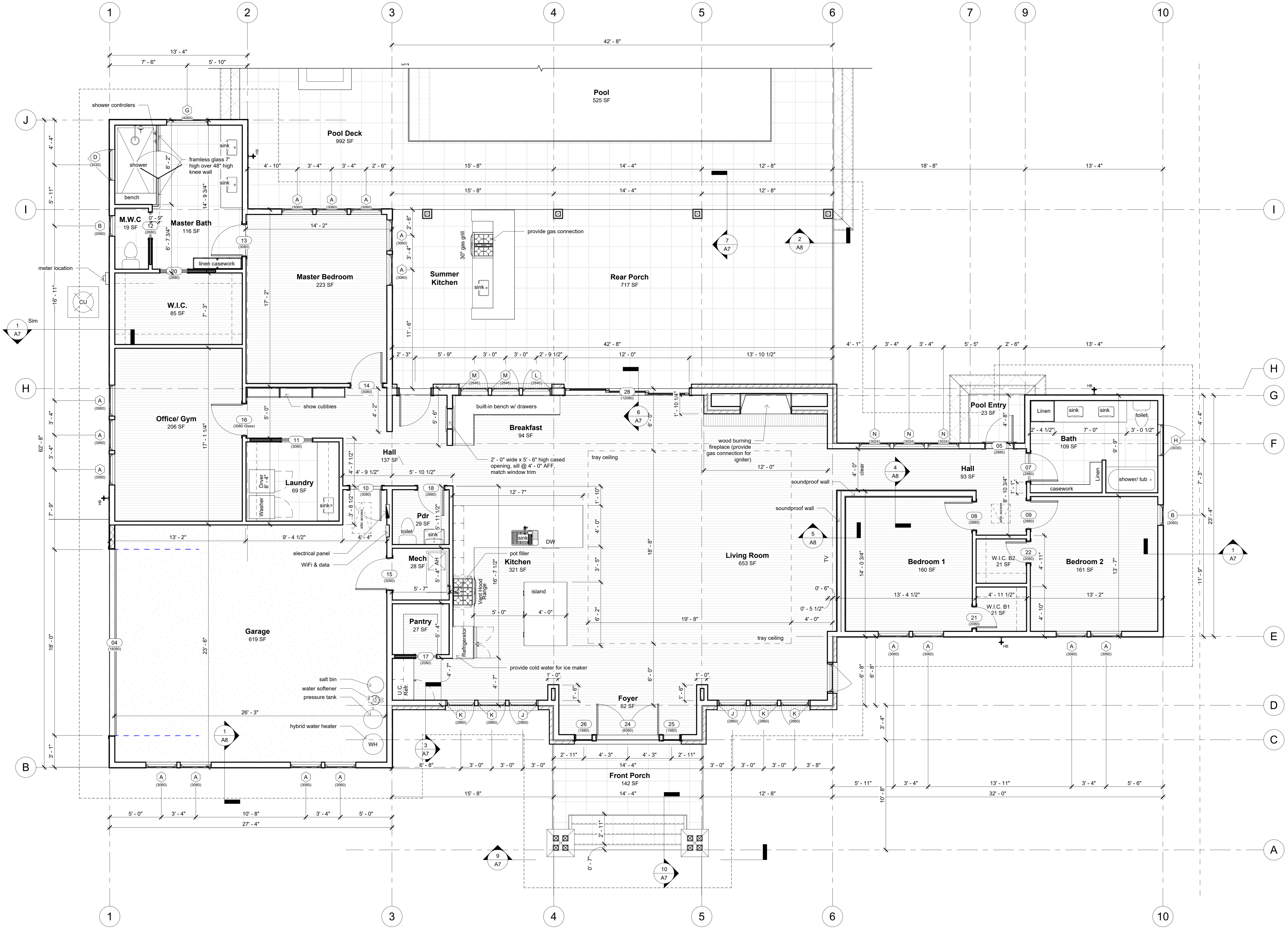
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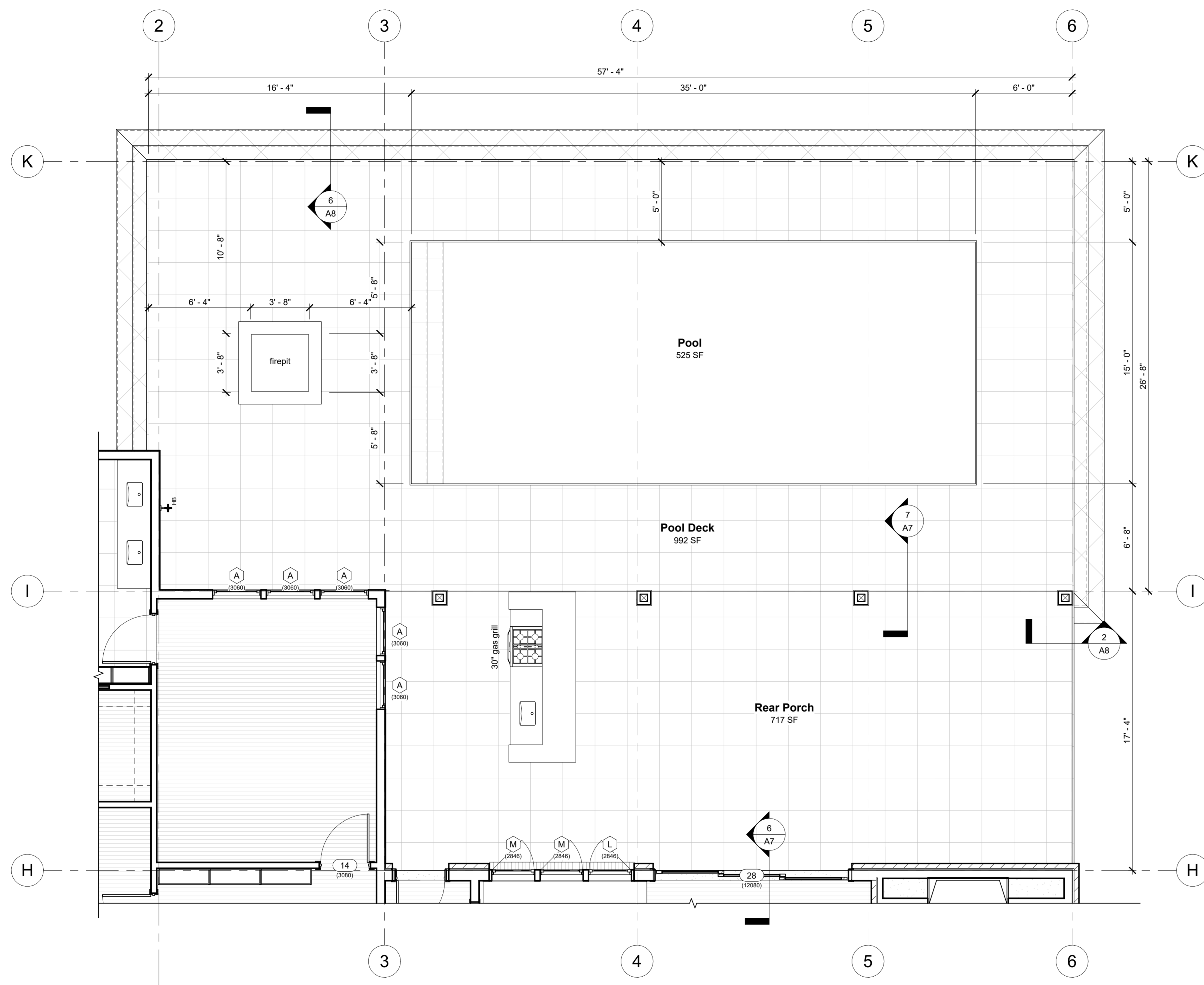
Revision Date
 Number Date

Date: 03-30-2023
 Drawn: Bob Harris
 Description: Floor Plan - House

SHEET
A1
 OF
 10



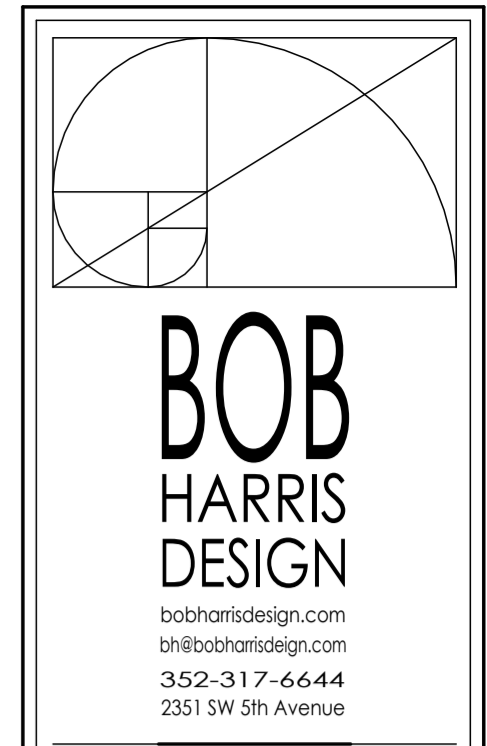
Floor Plan
 1/4" = 1'-0"



Pool Deck Plan
1/4" = 1'-0"

Door Schedule					
Mark	Width	Height	Location	Description	Comments
24	6'-0"	8'-0"	Foyer	(2) Full Light	Main Entry Door
25	1'-6"	8'-0"	Front Porch	Entry Sidelight	
26	1'-6"	8'-0"	Front Porch	Entry Sidelight	
04	18'-0"	8'-0"	Garage	Garage Door	
05	2'-8"	8'-0"	Pool Entry	Full Light	
29	3'-0"	8'-0"	Rear Porch	Full Light	
07	2'-8"	8'-0"	Bath		
08	2'-8"	8'-0"	Bedroom 1		
09	2'-8"	8'-0"	Bedroom 2		
10	3'-0"	8'-0"	Garage		
11	3'-0"	8'-0"	Laundry	Full Light Obscured, Pocket Door	
12	2'-6"	8'-0"	M.W.C	Pocket Door	
13	3'-0"	8'-0"	Master Bath		
14	3'-0"	8'-0"	Master Bedroom		
15	3'-0"	8'-0"	Mech		
16	3'-0"	8'-0"	Office/ Gym	Full Light Obscured	
17	2'-0"	8'-0"	Pantry	Full Light Obscured, Pocket Door	
18	2'-6"	8'-0"	Pdr		
28	12'-0"	8'-0"	Rear Porch	(3) Panel (3) Track Sliding Glass Doors	
20	2'-8"	8'-0"	W.I.C.	Full Light Obscured, Pocket Door	
21	2'-0"	8'-0"	W.I.C. B1		
22	2'-0"	8'-0"	W.I.C. B2		

Window Schedule						
Type Mark	Width	Height	Description	Comments	Head Height	Count
A	3'-0"	6'-0"	Single Hung		8'-0"	16
B	2'-0"	6'-0"	Single Hung		8'-0"	2
C	3'-9"	2'-4"	Fixed Glass, Transom		10'-10"	3
D	3'-0"	3'-0"	Casement, Right Hinge		8'-0"	1
E	2'-10"	2'-4"	Fixed Glass, Transom		10'-10"	2
F	1'-6"	2'-4"	Fixed Glass, Transom		10'-10"	2
G	4'-0"	6'-0"	Single Hung		8'-0"	1
H	3'-0"	3'-0"	Casement, Left Hinge		8'-0"	1
I	2'-8"	2'-4"	Fixed Glass, Transom		10'-10"	9
J	2'-8"	6'-0"	Casement, Left Hinge		8'-0"	2
K	2'-8"	6'-0"	Casement, Right Hinge		8'-0"	5
L	2'-8"	4'-6"	Casement, Left Hinge		8'-0"	1
M	2'-8"	4'-6"	Casement, Right Hinge		8'-0"	2
N	3'-0"	2'-4"	Fixed Glass		8'-0"	3



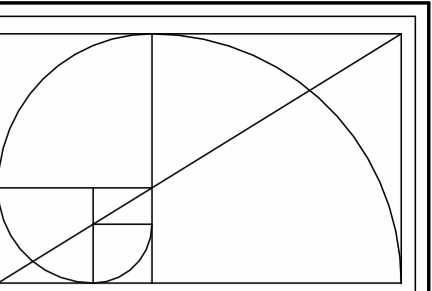
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Jason & Ashley McFall

McFall Residence
New Home
9515 NW 62nd Lane
Gainesville, Florida 32653

Revision Date
Number Date

Date: 03-30-2023
Drawn: Bob Harris
Description: Floor Plan - Pool Deck

SHEET
A2
OF
10



**BOB
HARRIS
DESIGN**

bobharrisdesign.com
bh@bobharrisdesign.com
352-317-6644
2351 SW 5th Avenue

CLIENT

Jason & Ashley McFall

McFall Residence

New Home

9515 NW 62nd Lane
Gainesville, Florida 32653

Revision Date
Number Date

Date:
03-30-2023

Drawn:
Bob Harris

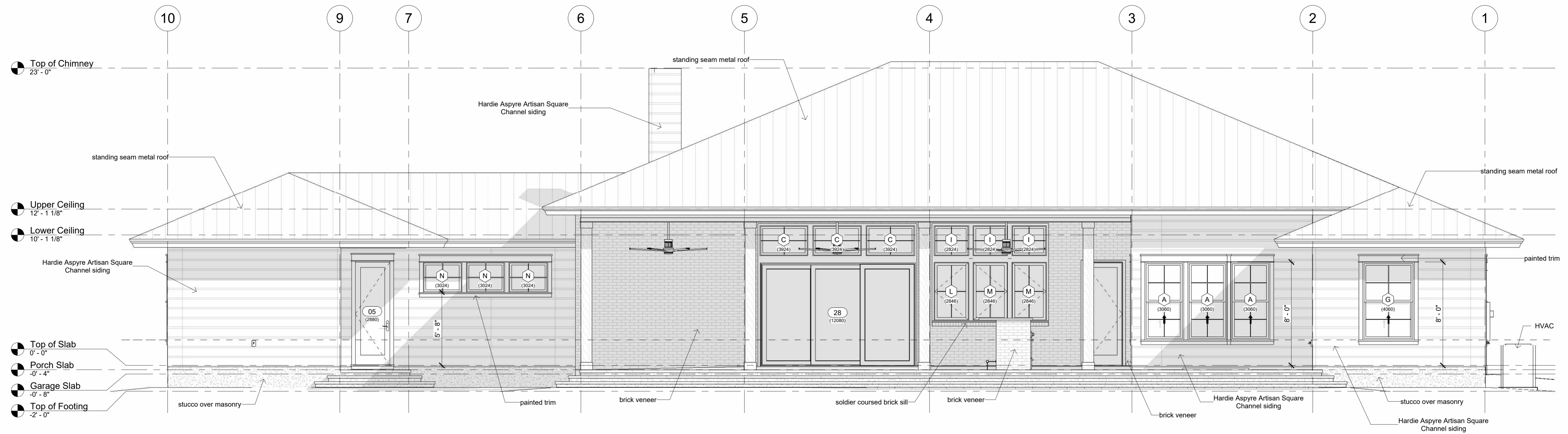
Description:

Elevations

SHEET

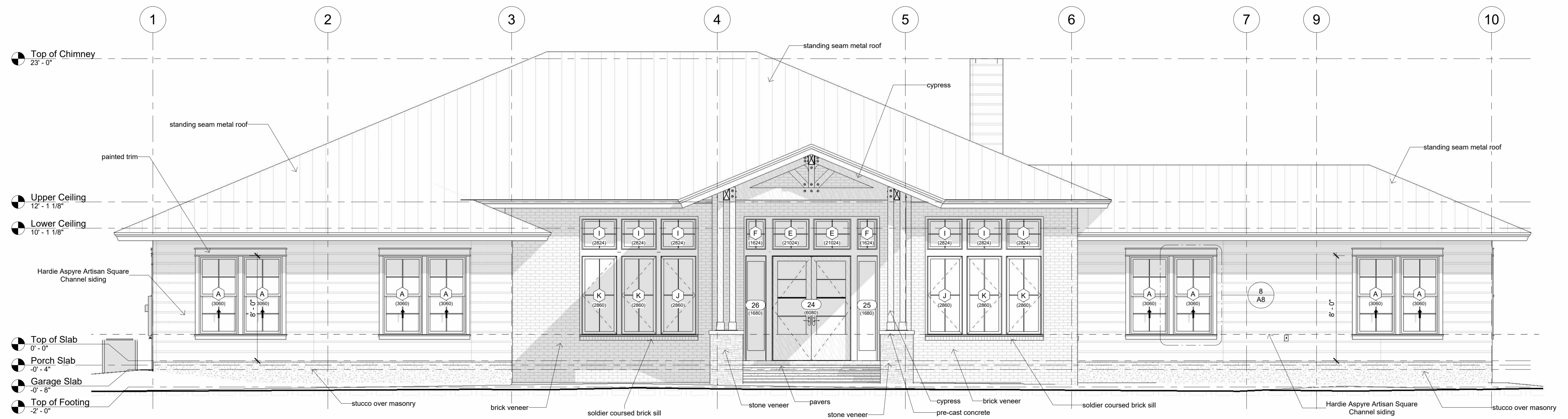
A3

OF
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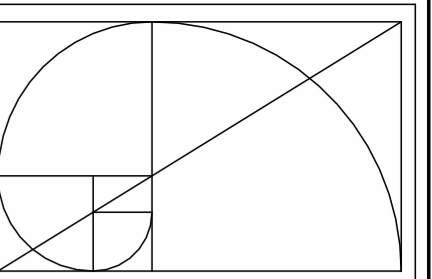
South Elevation

1/4" = 1'-0"



North Elevation

1/4" = 1'-0"



**BOB
HARRIS
DESIGN**
bobharrisdesign.com
bh@bobharrisdesign.com
352-317-6644
2331 SW 5th Avenue

CLIENT
Jason & Ashley McFall

McFall Residence
New Home
9515 NW 62nd Lane
Gainesville, Florida 32653

Revision Date
Number Date

Date:
03-30-2023

Drawn:
Bob Harris

Description:

Elevations

SHEET

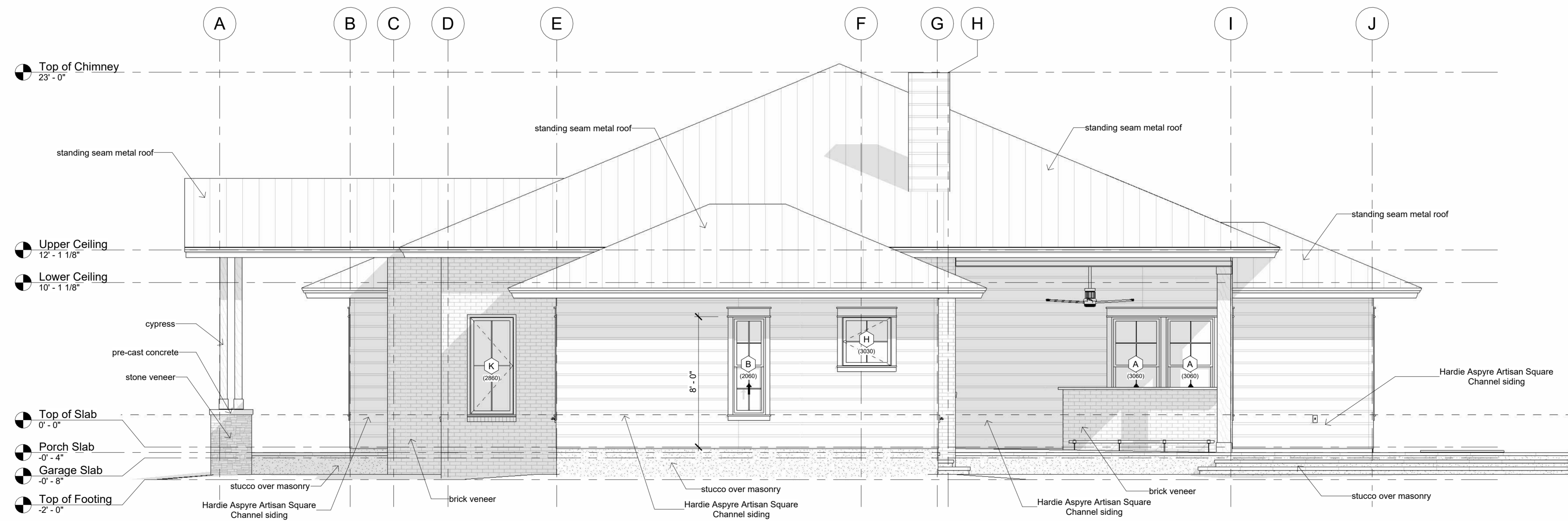
A4

OF
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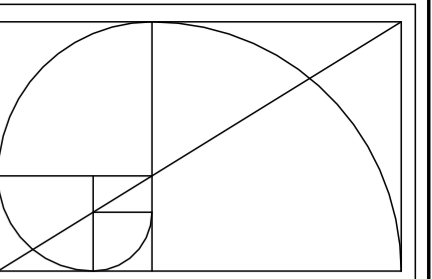
East Elevation

1/4" = 1'-0"



West Elevation

1/4" = 1'-0"



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HARRIS
DESIGN**

bobharrisdesign.com
bh@bobharrisdesign.com
352-317-6644
2351 SW 5th Avenue

CLIENT
Jason & Ashley McFall

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Gainesville, Florida 32653

Revision Date
Number Date

Date:
03-30-2023

Drawn:
Bob Harris

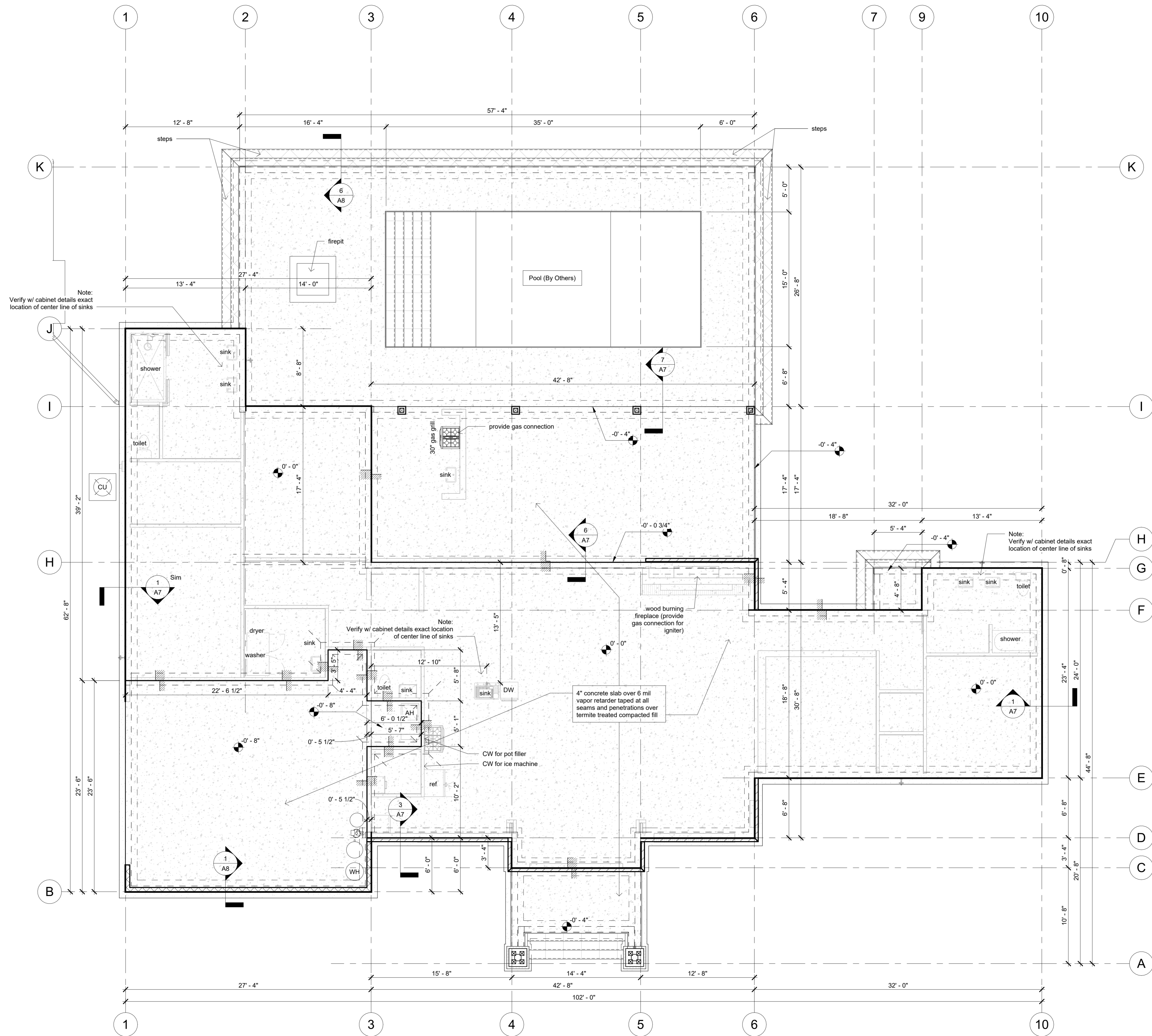
Description:

Slab Plan

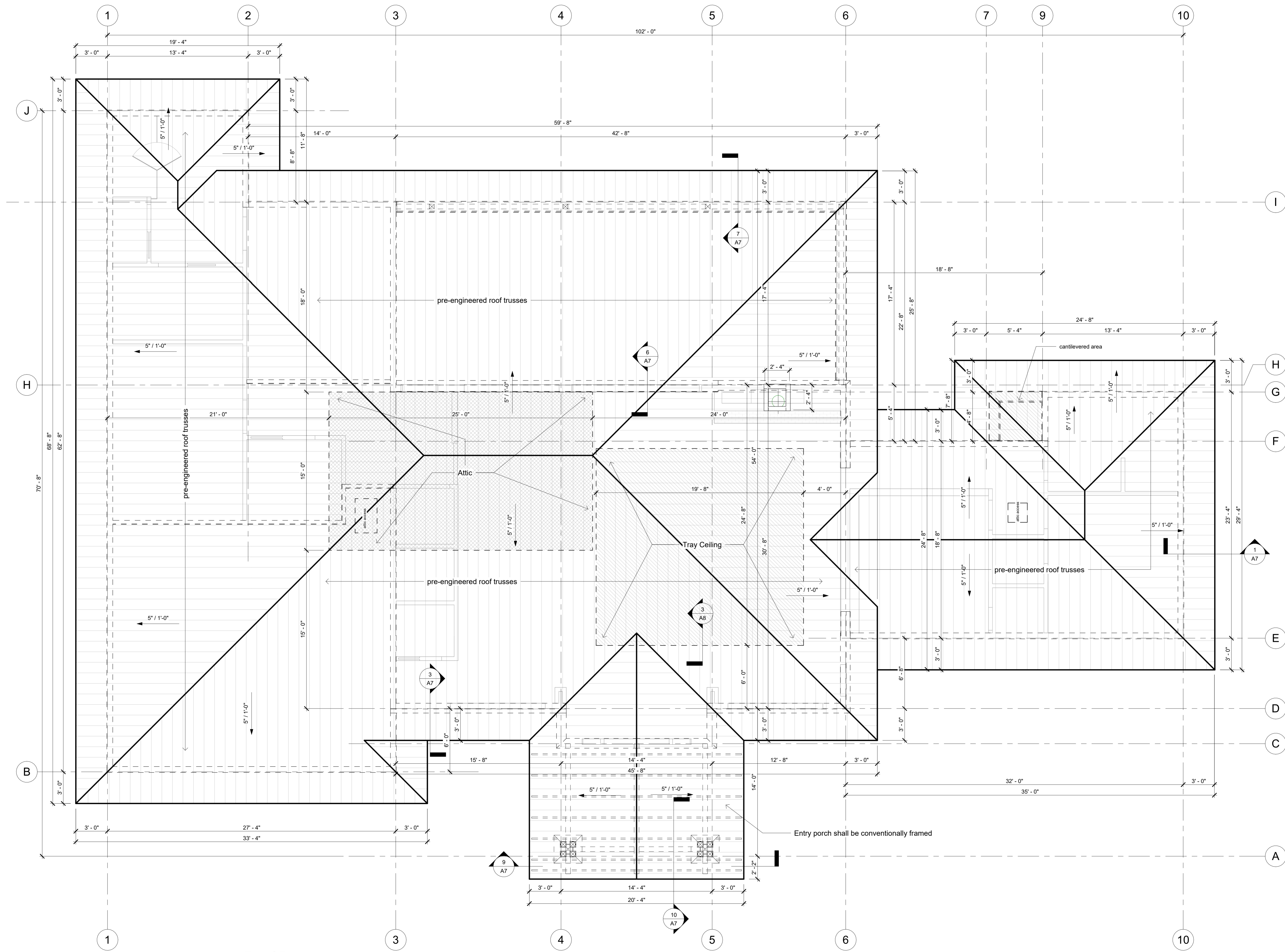
SHEET

A5

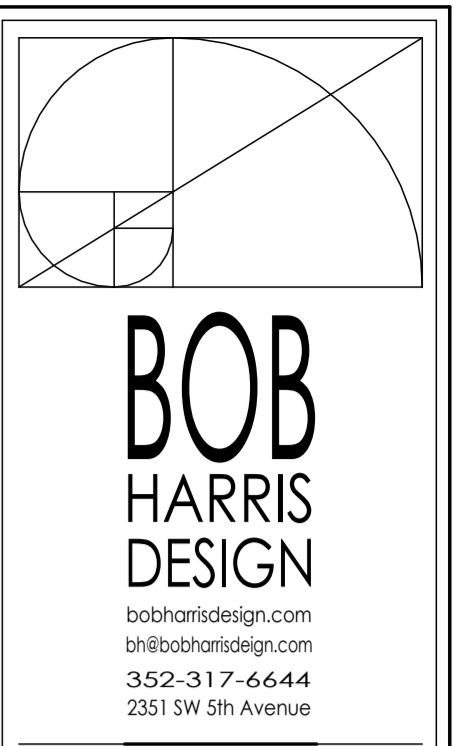
OF
10



Slab Plan
3/16" = 1'-0"



Roof Plan
1/4" = 1'-0"



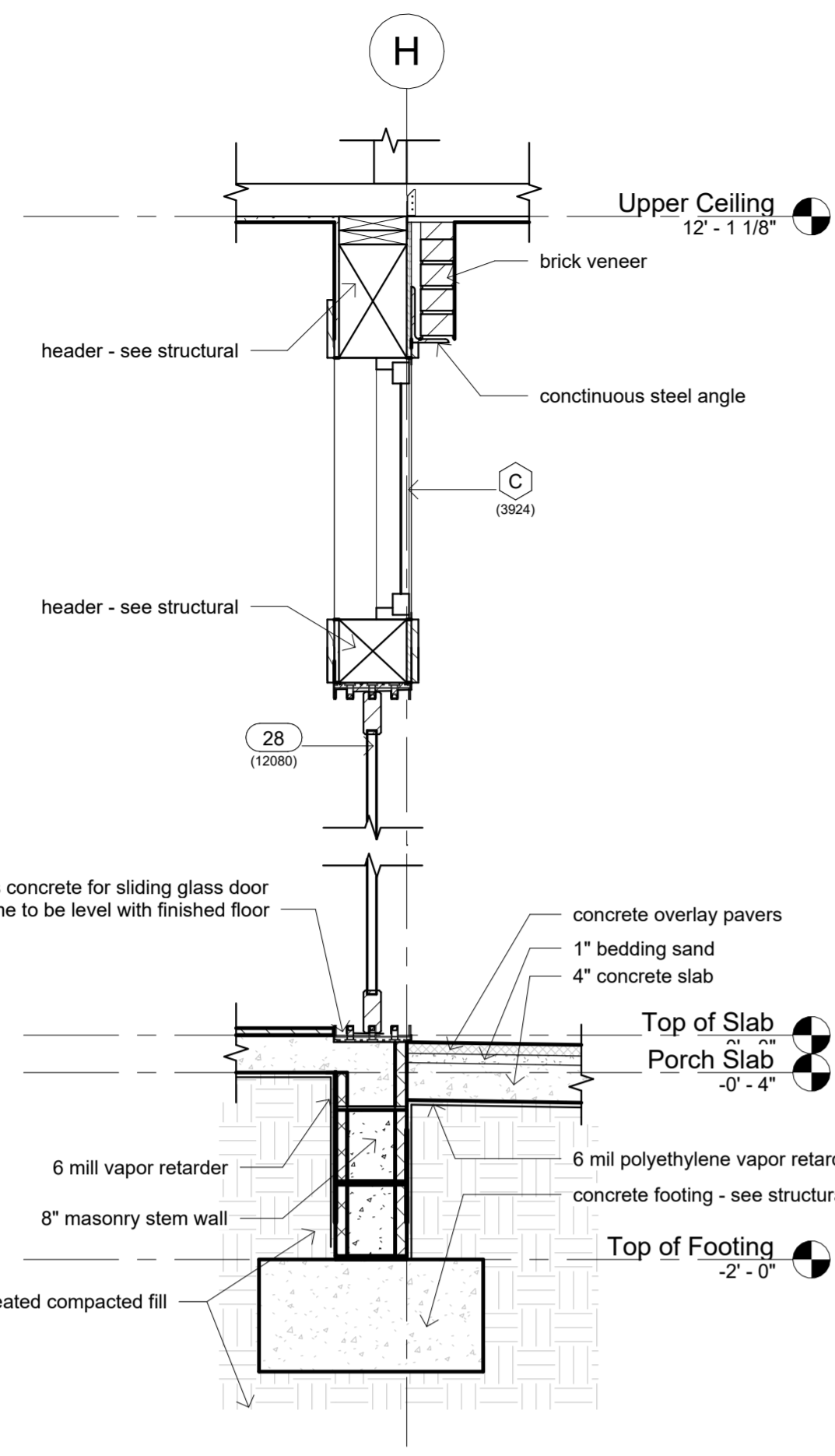
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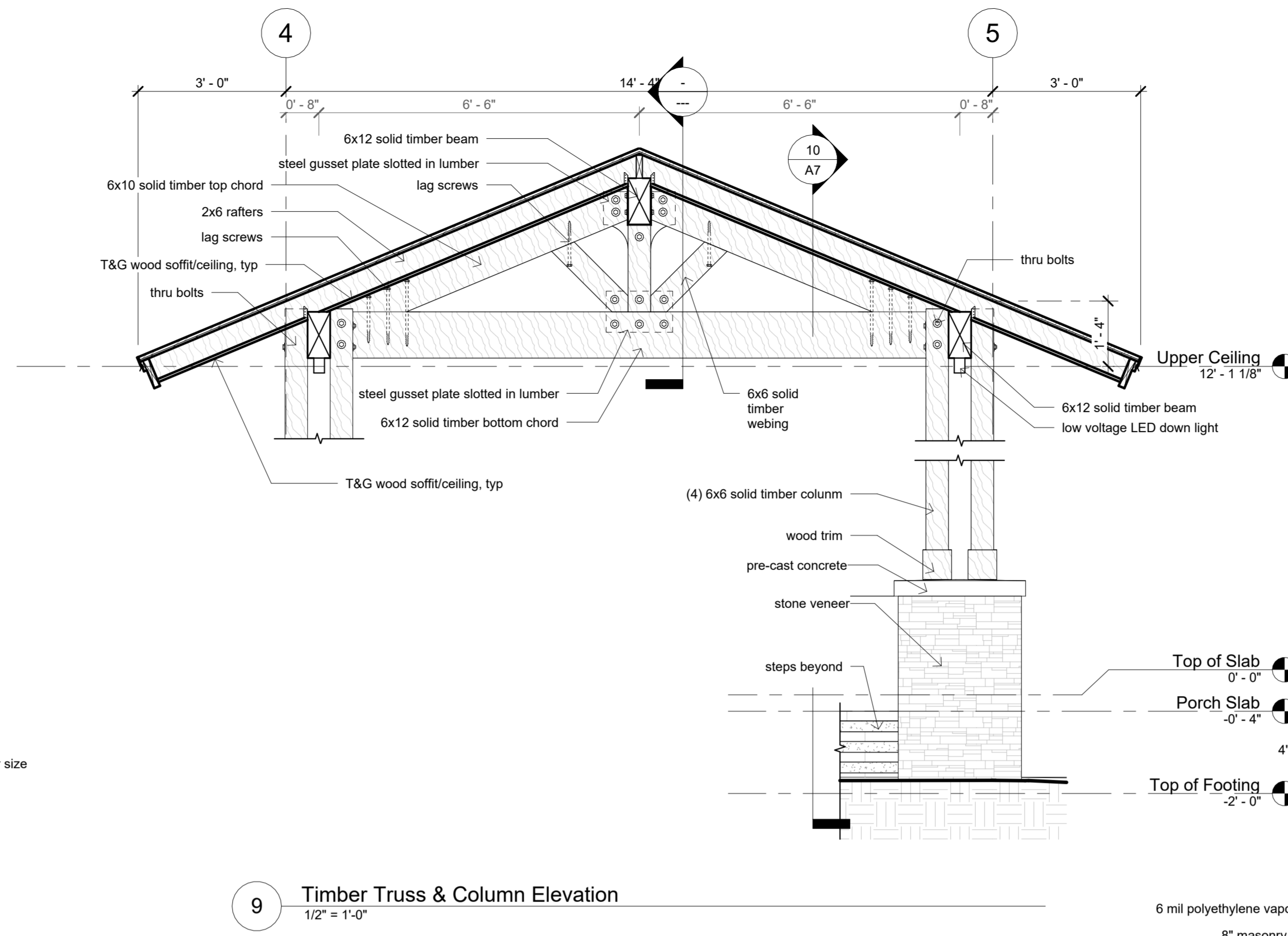
Revision Number	Date

Date: 03-30-2023
 Drawn: Bob Harris
 Description: Roof Plan

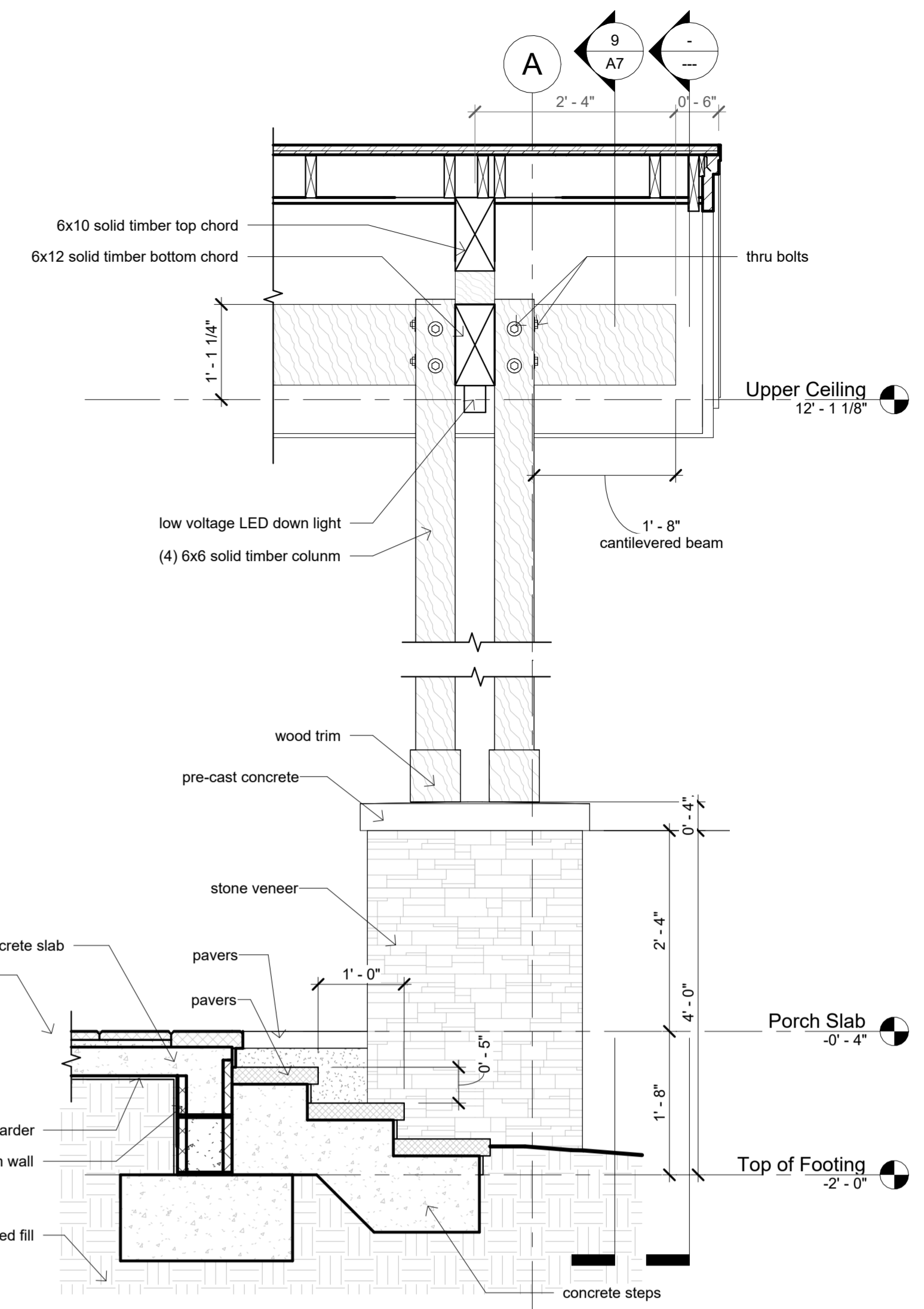
SHEET
A6
 OF
 10



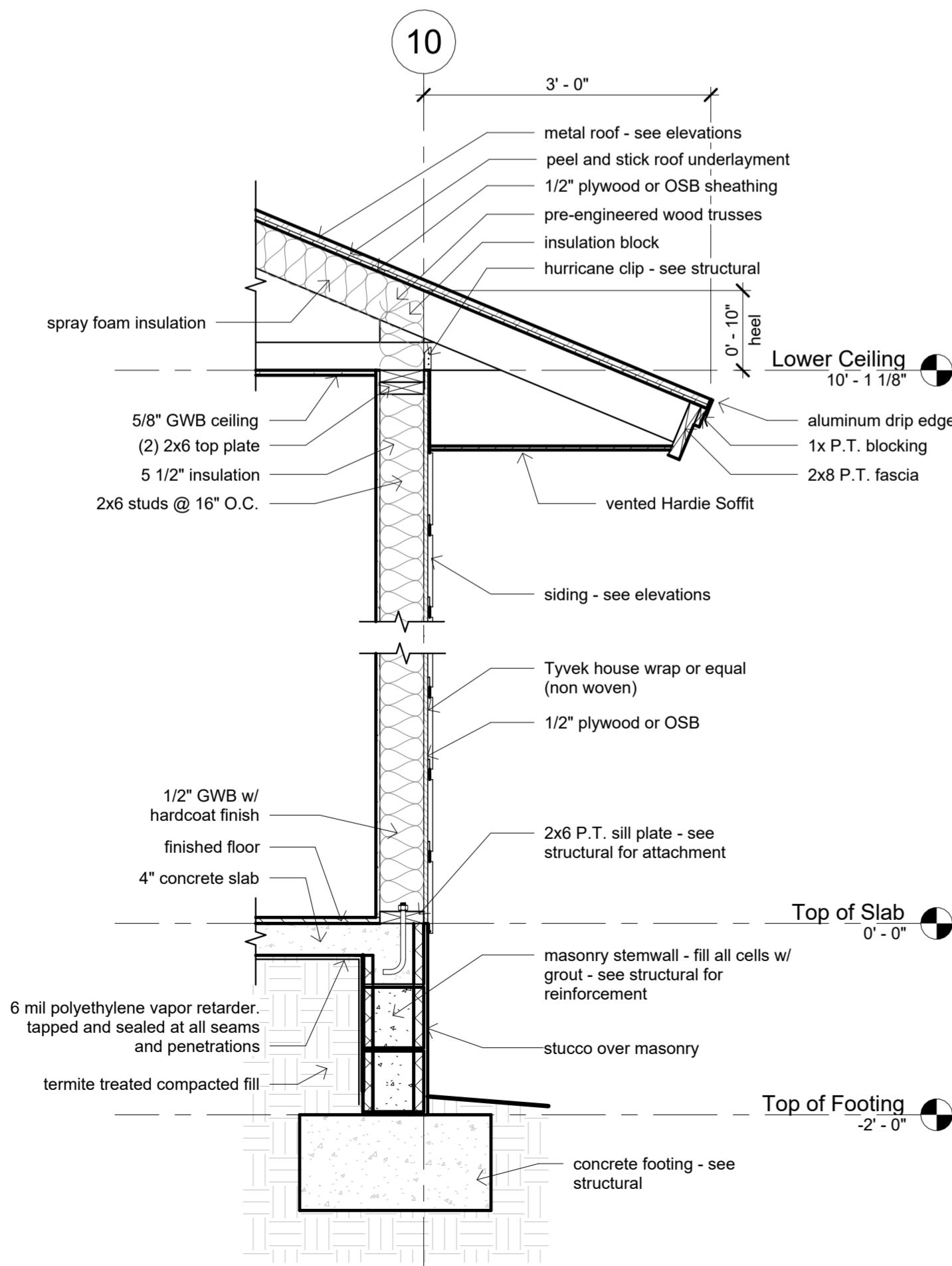
6 Wall Section @ Sliding Glass Door
3/4" = 1'-0"



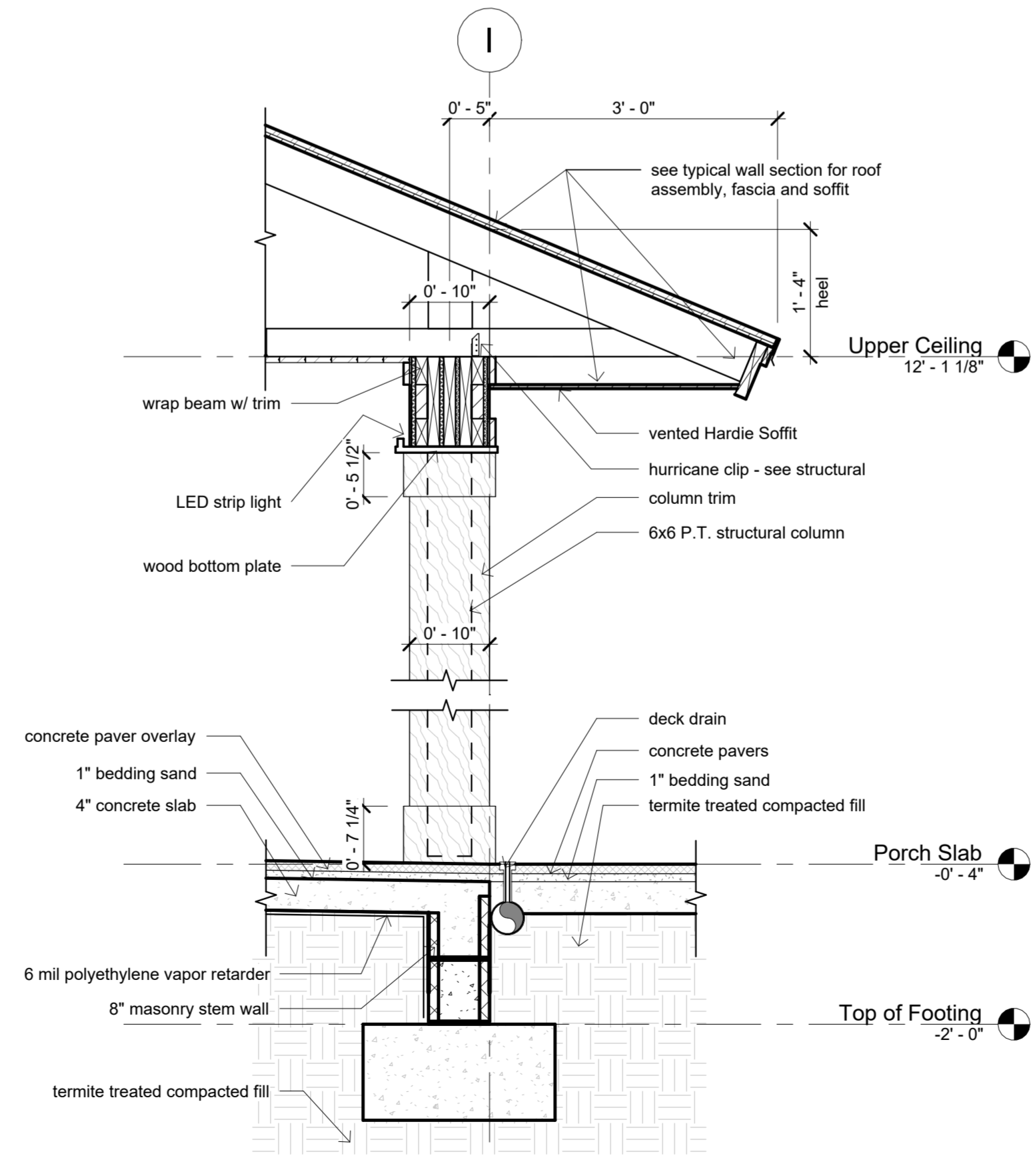
9 Timber Truss & Column Elevation
1/2" = 1'-0"



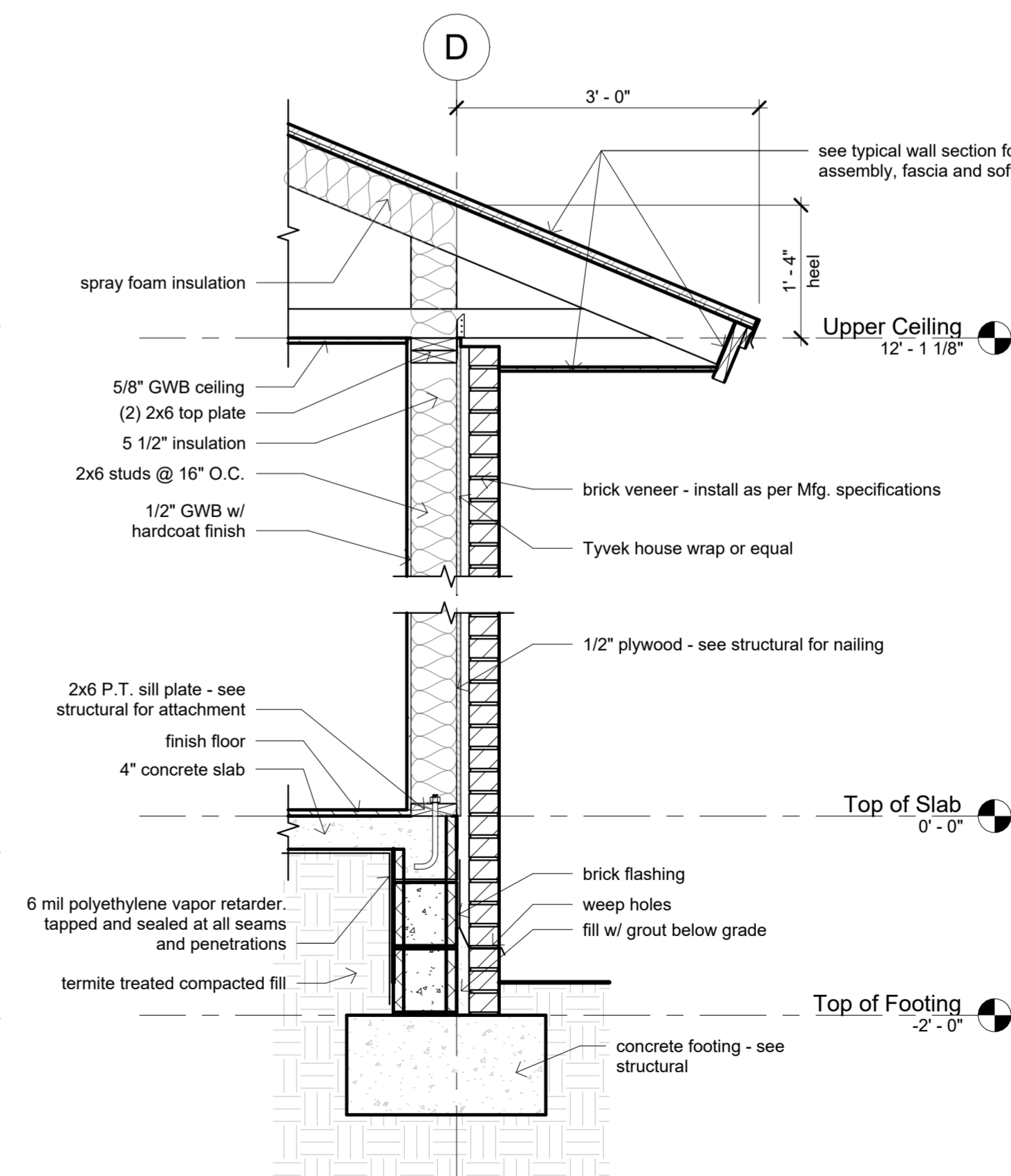
10 Front Porch Gable Section
3/4" = 1'-0"



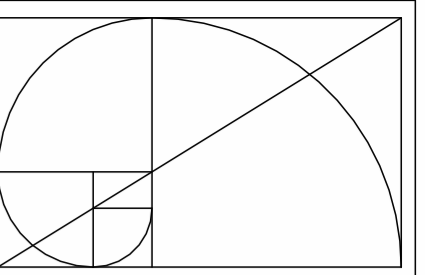
1 Typical Wall Section
3/4" = 1'-0"



7 Typical Porch Column Section
3/4" = 1'-0"



3 Typical Wall Section @ Brick
3/4" = 1'-0"

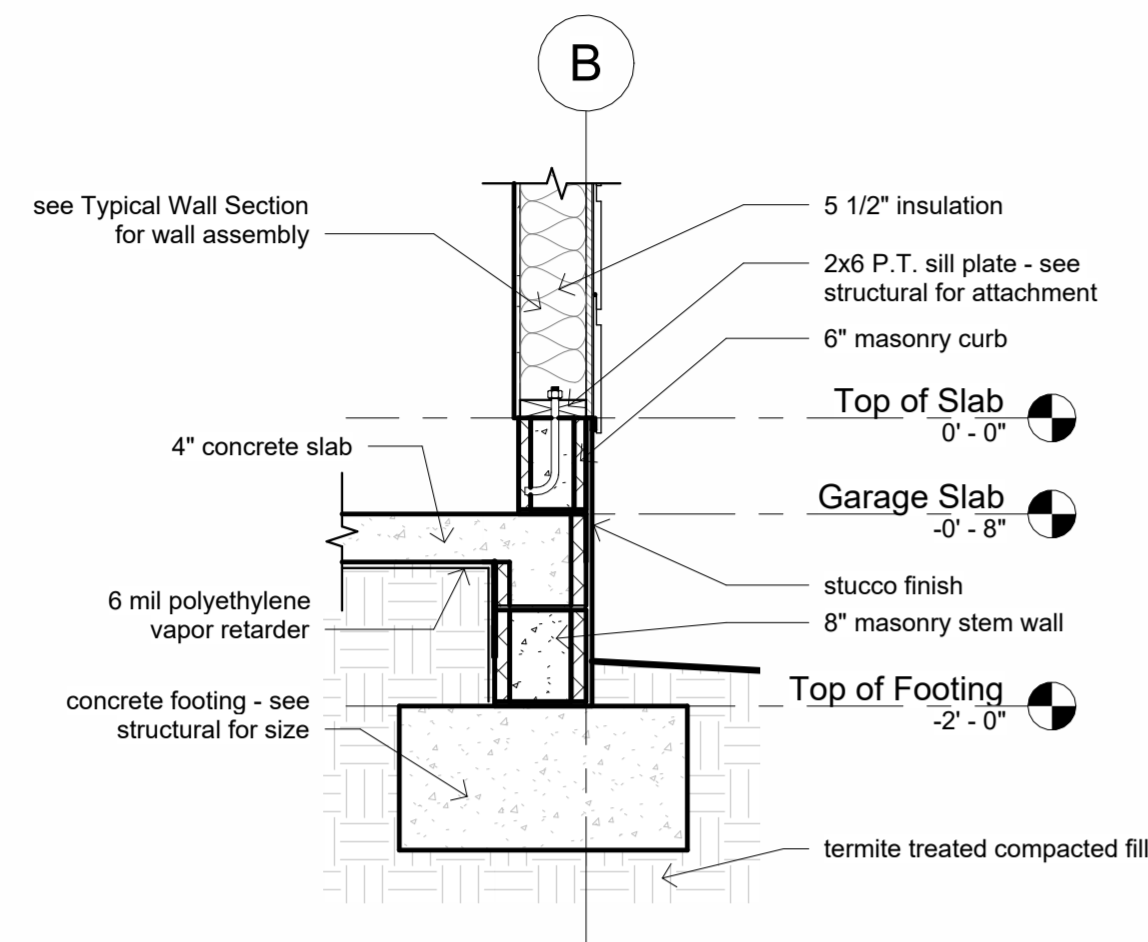


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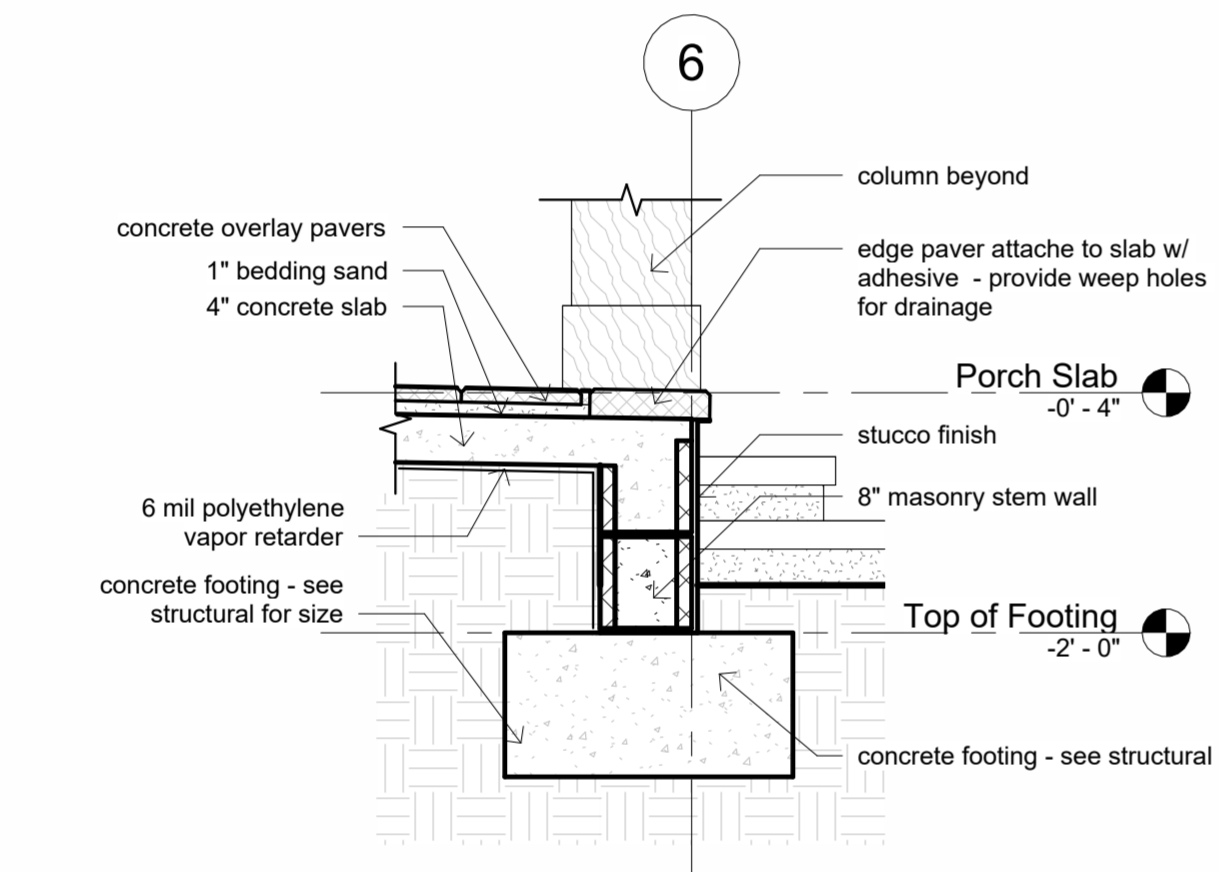
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Jason & Ashley McFall

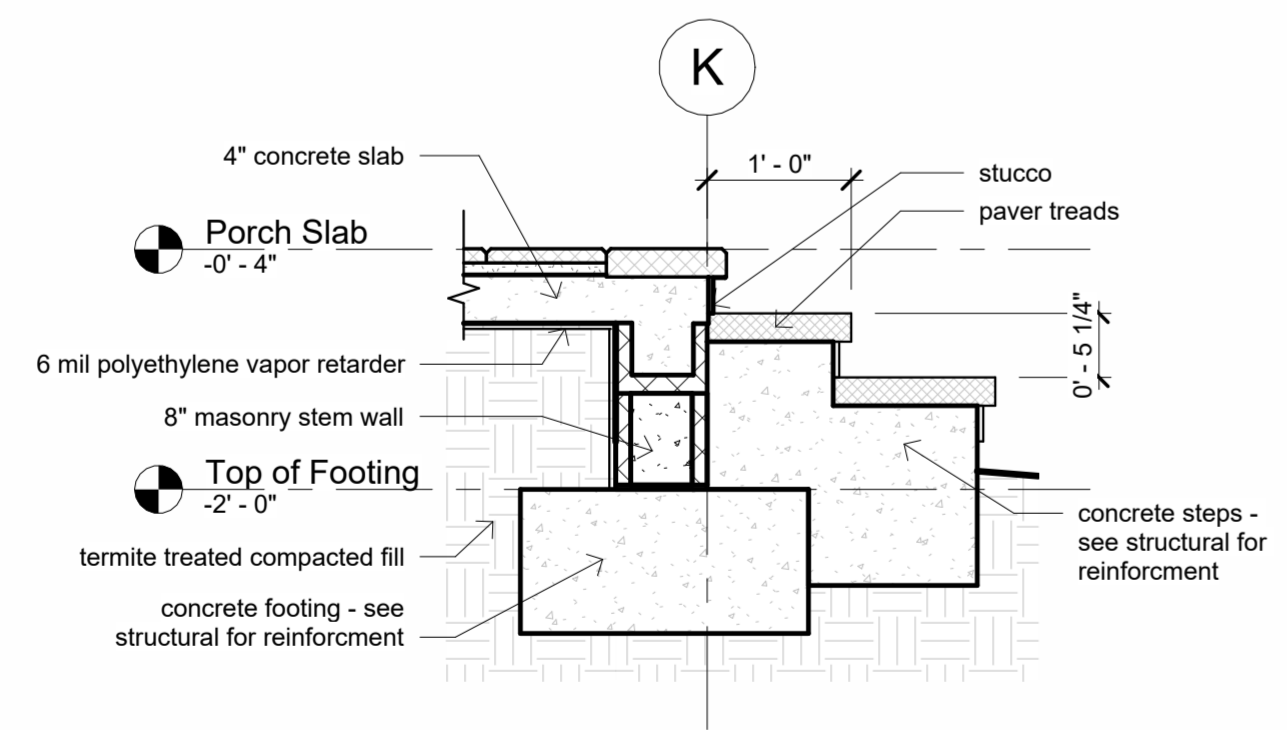
McFall Residence
New Home
9515 NW 62nd Lane
Gainesville, Florida 32653



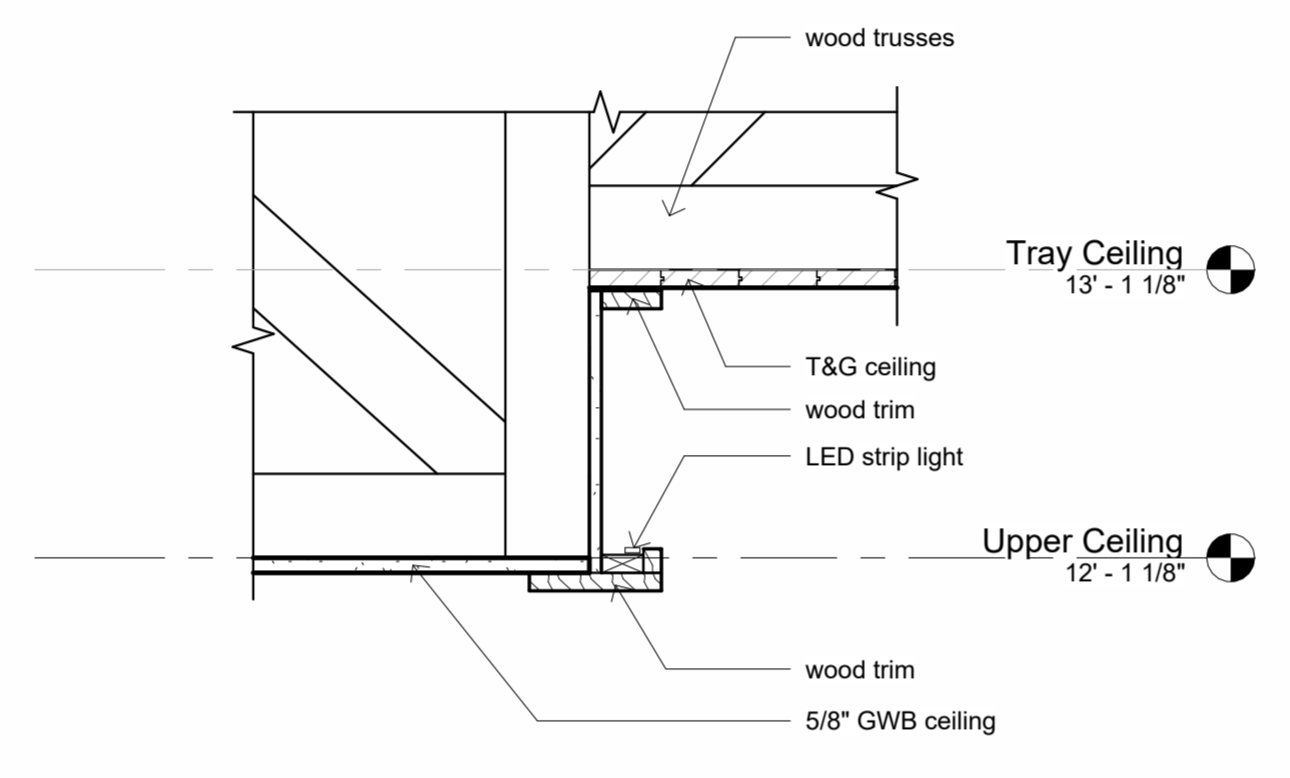
1 Stem Wall Detail @ Garage
3/4" = 1'-0"



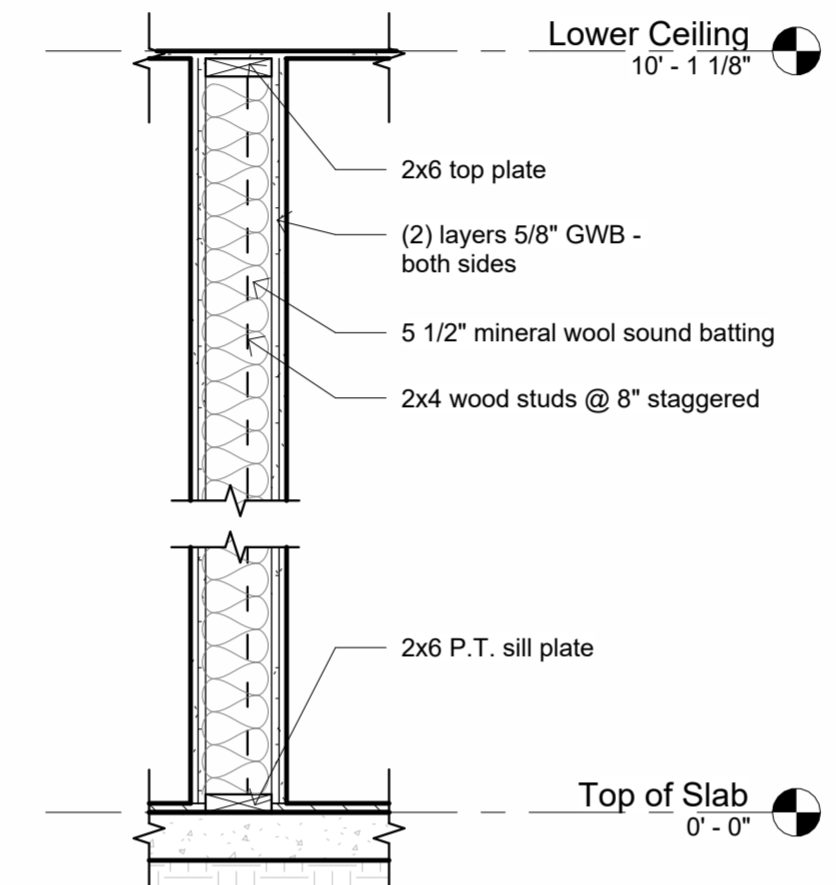
2 Stem Wall Detail @ Porch
3/4" = 1'-0"



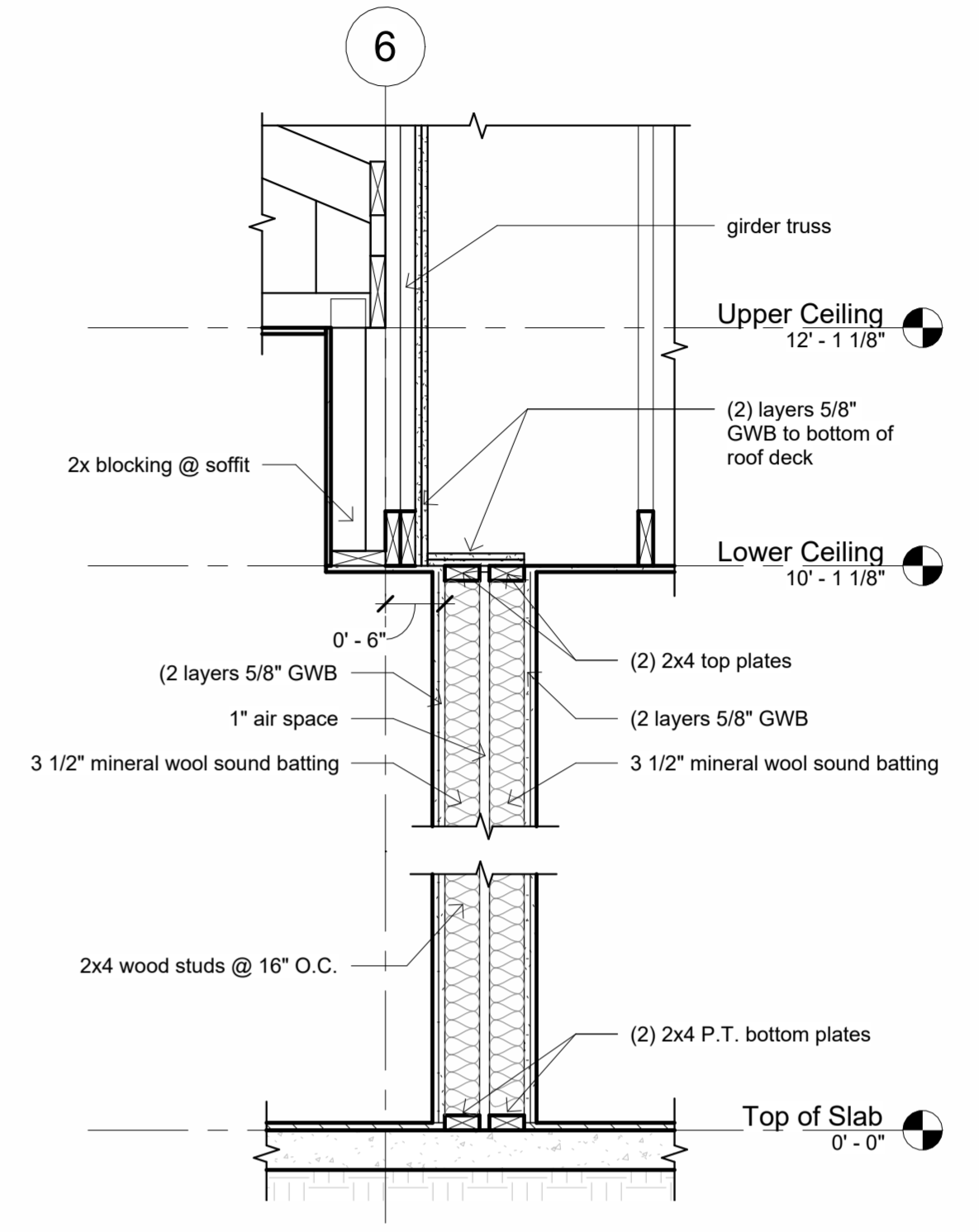
6 Pool Deck Step Detail
3/4" = 1'-0"



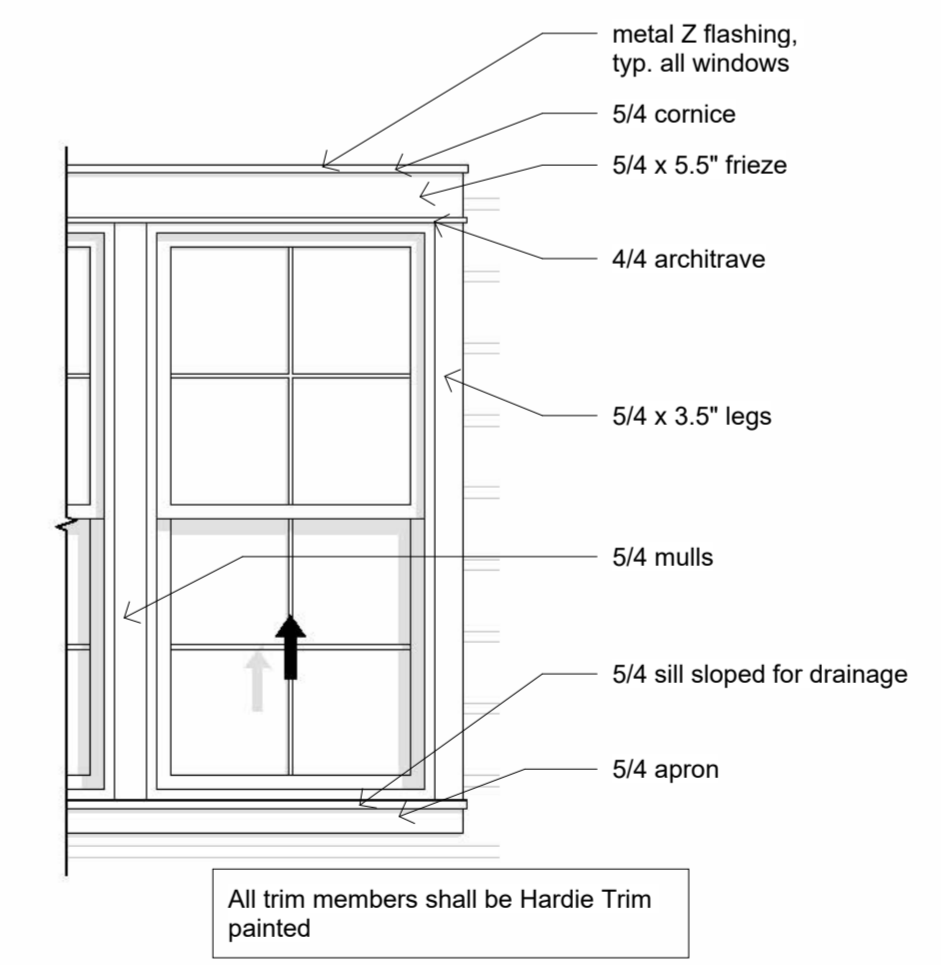
3 Tray Ceiling Trim Detail
1 1/2" = 1'-0"



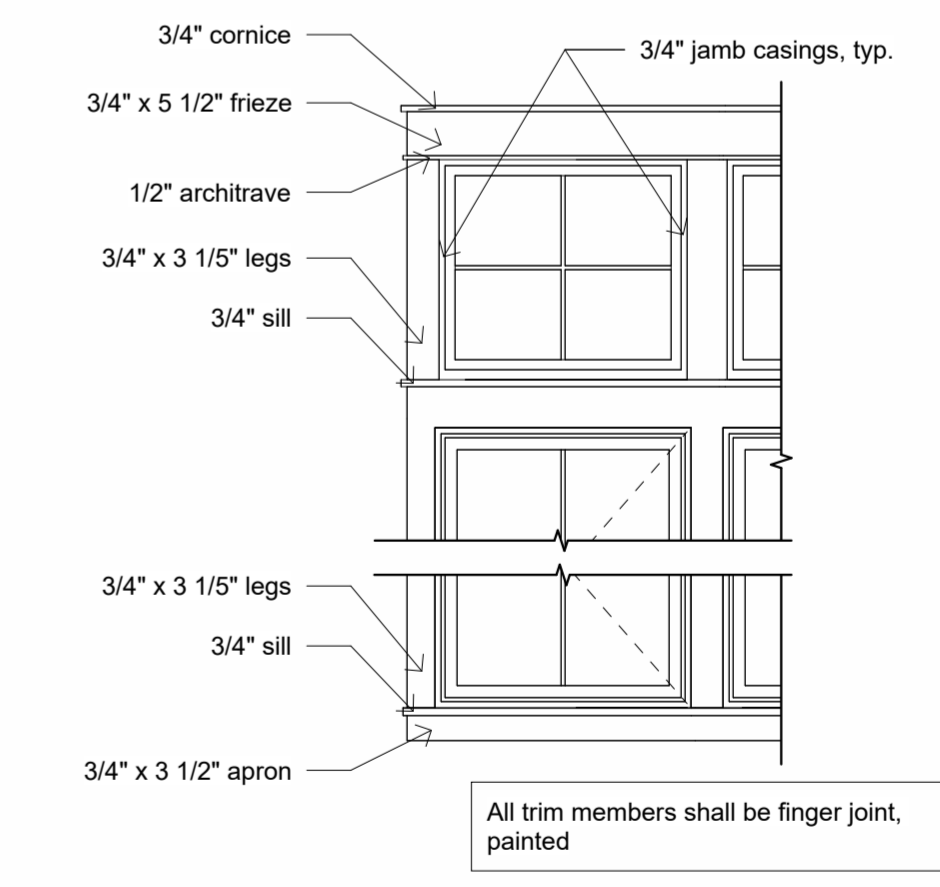
4 Soundproof Wall @ Hall
3/4" = 1'-0"



5 Soundproof Wall @ TV
3/4" = 1'-0"



8 Typical Exterior Window Trim
1/2" = 1'-0"

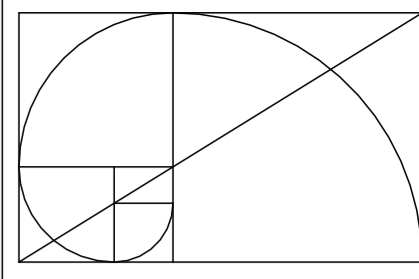


7 Typical Interior Window Trim
1/2" = 1'-0"

Revision Date	
Number	Date

Date: 03-30-2023
Drawn: Bob Harris
Description: Details

SHEET
A8
OF
10



BOB HARRIS DESIGN
 bobharrisdesign.com
 bh@bobharrisdesign.com
 352-317-6644
 2351 SW 5th Avenue

CLIENT
 Jason & Ashley McFall

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New Home
 9515 NW 62nd Lane
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Revision Date
 Number Date

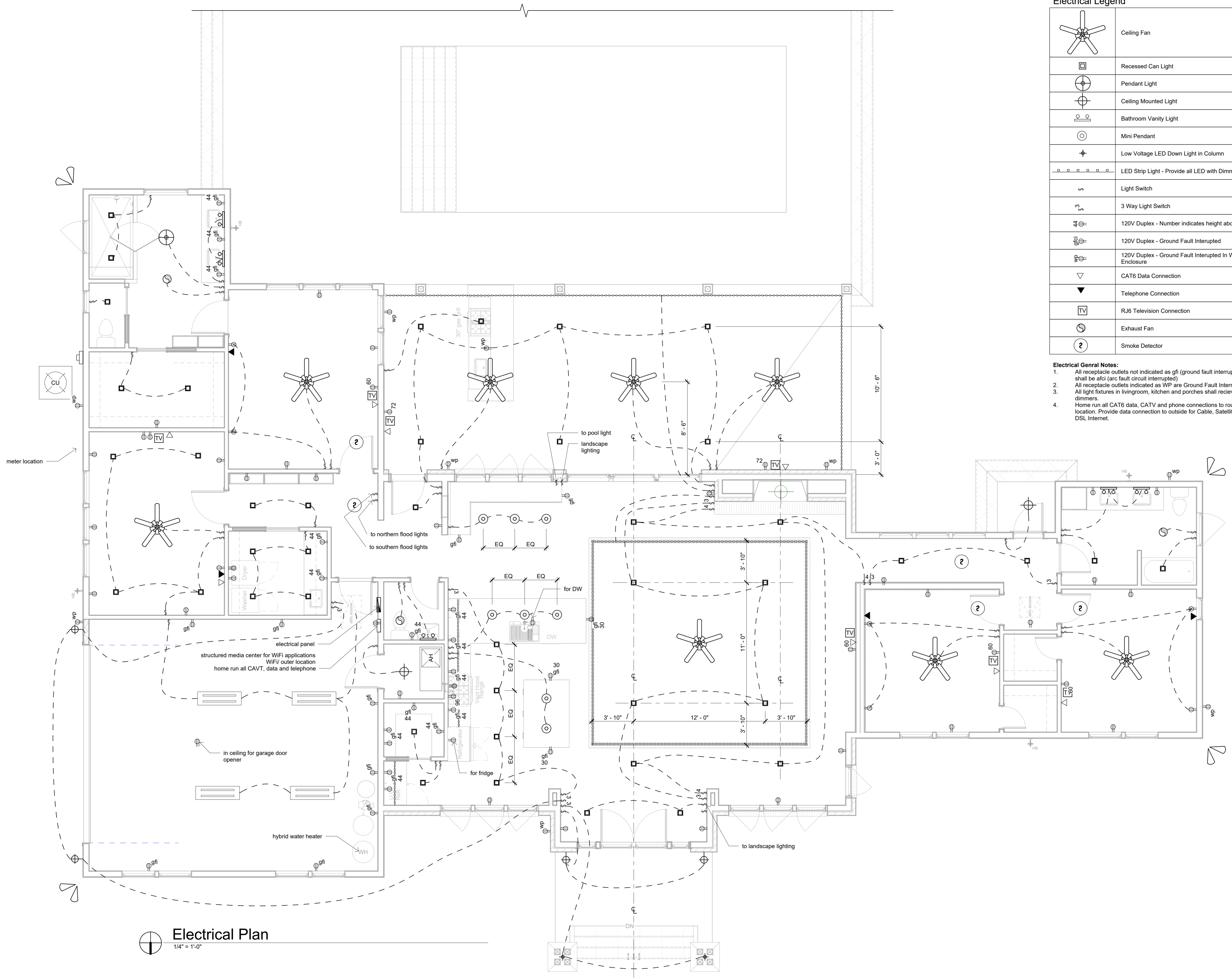
Date: 03-30-2023
 Drawn: Bob Harris
 Description: Electrical Plan

SHEET
A9
 OF
 10

Electrical Legend

	Ceiling Fan
	Recessed Can Light
	Pendant Light
	Ceiling Mounted Light
	Bathroom Vanity Light
	Mini Pendant
	Low Voltage LED Down Light in Column
	LED Strip Light - Provide all LED with Dimmable Drivers
	Light Switch
	3 Way Light Switch
	120V Duplex - Number indicates height above floor
	120V Duplex - Ground Fault Interrupted
	120V Duplex - Ground Fault Interrupted in Water Resistant Enclosure
	CAT6 Data Connection
	Telephone Connection
	RJ6 Television Connection
	Exhaust Fan
	Smoke Detector

- Electrical General Notes:**
- All receptacle outlets not indicated as gfi (ground fault interrupted) shall be afci (arc fault circuit interrupted)
 - All receptacle outlets indicated as WP are Ground Fault Interrupted
 - All light fixtures in livingroom, kitchen and porches shall receive dimmers.
 - Home run all CAT6 data, CATV and phone connections to router location. Provide data connection to outside for Cable, Satellite and DSL Internet.



Electrical Plan
 1/4" = 1'-0"